

**COALFIELD DEVELOPMENT CORPORATION
CABELL COUNTY, WEST VIRGINIA
JUST TRANSITION CENTER
ADDENDUM #6
March 5, 2026
THRASHER PROJECT # T60-11108**

TO WHOM IT MAY CONCERN:

A Pre-Bid Conference was held on Tuesday, February 3, 2026, on the above-referenced project. The following are clarifications and responses to questions posed by contractors for the above-referenced project.

1. GENERAL

1. HE BID FORM HAS BEEN REVISED. YOU MUST USE THE REVISED BID FORM WHEN PREPARING YOUR BID PACKAGE FOR THIS PROJECT.

2. SPECIFICATIONS

1. Scranton Products is an approved manufacturer for Section 102113 – Toilet Compartments.

3. DRAWINGS

1. AD1.01, AD1.02, A1.01, A1.08, A6.01, A7.01.

4. QUESTIONS AND RESPONSES

1. QUESTION

The Unit Price breakdown on the Bid Form does not match the Unit Price Specification. Will a new Bid Form be provided?

RESPONSE

Revised Bid Form provided in this addendum.

2. QUESTION

AD1.03 Third Floor Plan-Demolition, Demolition Note 17 is not tagged on the floor plan.

1. Will existing MEP's be demoed from the ceilings to allow for the leveling of the floors?
2. Should Demolition Note 17 be included in Base Bid in lieu of Alternate No. 02?

RESPONSE

1. Yes, include MEP demo in the base bid.
2. Yes, revise Demolition Note 17 to be included in Base Bid.

3. QUESTION

AD1.04 Third Floor Plan-Demolition, Demolition Note 17 is not tagged on the floor plan.

Will existing MEP's be demoed from the ceilings to allow for the installation of the new roof sheathing?

1. Will existing MEP's be demoed from the ceilings to allow for the leveling of the floors?
2. Should Demolition Note 17 be included in Base Bid in lieu of Alternate No. 02?

RESPONSE

1. Yes, include MEP demo in the base bid.
2. Yes, revise Demolition Note 17 to be included in Base Bid.

4. QUESTION

1. The new Structural Sheets and Architectural Sheets do not indicate to remove the 4x4 wood decking subfloors. Response to question 84 & 87 in Addendum No. 03, states all hardwood floor and subfloors shall be replaced and floors should be leveled to within +/- 1 inch.
2. Confirm all 4x4's on all floors is to be removed down to the beams to allow for the beams to be leveled to within 1".

RESPONSE

Yes

5. QUESTION

Since the concrete filled metal pan stairs is in Alternate No. 02, will a temporary set of stairs for future access from the basement to the fourth floor be required in case Alternate No. 01 and Alternate No. 02 is not accepted?

RESPONSE

No

6. QUESTION

Sheet AD1.00, AD1.01, AD1.02, AD1.03, & AD1.04 Note 2. Confirm remove existing door and frame is to be included in Alternate No. 01 and not Alternate No. 02.

RESPONSE

Clarification provided in this addendum.

7. QUESTION

Shall leveling the floors to 1" be included in Base Bid, Alternate No. 01, or Alternate No. 02?

RESPONSE

Alternate No. 02.

8. QUESTION

Addendum No. 04 proposed floor plans A1.01, A1.02, A1.03, and A1.04; New Construction Note 10 Alternate 1: Install new hardwood floor on three quarter tongue and groove plywood subfloor. If Alternate No. 02 is not be accepted, the new hardwood flooring would be subject to damage due to the building not being climatically controlled.

Should the new hardware flooring be included in Alternate No. 02 in lieu of Alternate No.

01?

RESPONSE

Correct.

9. QUESTION

Sheet A1.01 Proposed Floor Plan identifies Room 107 Kitchenette to receive New Construction Plan Note 10 "Alternate 1: Install new hardwood on new three-quarter tongue and groove plywood subfloor. Addendum No. 02, question 47 states existing plastic laminate casework, countertops, and appliance remain in Room 107 Kitchenette.

Shall the existing casework be removed and replaced for the new floor installations?

RESPONSE

Addendum No. 04 to remove existing plastic laminate casework, countertops, and salvage stove turn over to owner.

10. QUESTION

Sheet A1.03: Can the solid surface countertop start and stop at the storm chase wall?

RESPONSE

No

11. QUESTION

Sheet A6.01 Door, Frame, & Hardware Schedule in Addendum No. 04 still identifies openings 115.1, 215, 313, & 406 as being aluminum framed and aluminum door. Addendum No. 02 states for them to be hollow metal.

Could confirmation be provided?

RESPONSE

Door schedule revised in this addendum.

12. QUESTION

Addendum No. 02; question 14 indicated to provide toilet partitions floor to ceiling pilaster. The ceiling heights are over the 10' manufacturing height.

Should overhead braced be what is required with the proposed ceiling heights in lieu floor to ceilings pilaster?

RESPONSE

Floor anchored/overhead braced in lieu of floor to ceiling pilaster.

13. QUESTION

Addendum No. 02; question 62 response states the exterior signage is required on all floor level. Addendum No. 03, question 81 response says an allowance for the signage will be provided. The allowance appears to be for \$500.00.

Does the \$500.00 allowance cover the cost for all (5) five exterior signage as identified on Sheet A2.02?

RESPONSE

\$500 allowance is for the Mountain Mindful sign located on East Elevation. Refer to detail 8/A5.02 for sign information. The all (4) exterior stair signage location is included in Alternate No. 02.

14. QUESTION

Addendum No. 02; question 62 response states the exterior signage is required on all floor level. Addendum No. 03, question 81 response says an allowance for the signage will be provided. The allowance appears to be for \$500.00.

Does the \$500.00 allowance cover the cost for all (5) five exterior signage as identified on Sheet A2.02?

RESPONSE

\$500 allowance is for the Mountain Mindful sign located on East Elevation. Refer to detail 8/A5.02 for sign information. The all (4) exterior stair signage location is included in Alternate No. 02.

15. QUESTION

Appears all the LVT has been removed from the Scope of Work in Addendum No. 04. The finish schedule indicates to install new resilient base.

Since the floor finishes is indicated to be hardware floors would wood base not look better than resilient base on hardwood floors?

RESPONSE

Resilient base

16. QUESTION

Sheets A1.01, A1.02, A1.03, & A1.05; New Construction Plan Note 10: Alternate No. 01 Install new hardwood on new three-quarter tongue and groove plywood subfloor. Sheets A7.01 Finish Schedule and Sheets A7.02, A7.03, A7.04, & A7.05 title block identifies the hardwood floor and resilient base to be included in Alternate No. 02.

Which Alternate is correct?

Should the replacement of the 4x4's and three-quarter floor be included in Base Bid and the hardwood and base be included in Alternate No. 02?

RESPONSE

Note 10 revised in this addendum.

17. QUESTION

Sheet A1.08 Second Floor Reflected Ceiling Plan; New Construction RCP Note 5; Alternate 2: Provide new acoustical baffles between existing joists. On Sheet A7.01 at Room 217 Revitalize Remarks, the remark for providing ceiling with new acoustical baffles has been removed.

Have the acoustical baffles been omitted from the Scope of Work in Room 217 Revitalize?

RESPONSE

No, acoustical baffles have not been omitted from the Scope of Work in Room 217 Revitalize.

18. QUESTION

Sheet A1.08 Second Floor Reflected Ceiling Plan; New Construction RCP Note 6; Alternate 2: Provide 2x2 ACT suspended acoustical ceiling in Rooms 212, 213, & 214. Sheet A7.01 indicates to include the ACT in Alternate No. 01.

Could clarity be provided?

RESPONSE

Revised in this addendum.

19. QUESTION

Will a permit for installing the underground utilities be required by the WVDOH?

RESPONSE

No, all work will take place around and/or city streets.

20. QUESTION

Appears the new exterior stairway is being proposed within 12-foot of the existing Railway. Has this been coordinated with the Railway and has a permit been issued?

RESPONSE

The existing building is outside of the railway row and the new stairway will also be off railway ROW. If the contractor feels they need to be on railroad property to construct the stairs, then will have to coordinate with the railway.

21. QUESTION

There are power lines within 4-foot of the main entrance on Cole Street. The plans indicate to provide masonry repairs and provide new window openings. Will the Owner coordinate with the Power Company to de-energize the power from these lines to complete the work?

RESPONSE

Owner will coordinate with the Power Company

22. QUESTION

Sheet S-103; Note 9: Attach new SP No. 01 (2x12) to each side of existing beam with construction adhesive and #12 wood screws @ 12" O.C., staggered top and bottom. Confirm the beam on Column Line 13 with the two arrows are the only beam this note applies to

RESPONSE

Yes, correct.

23. QUESTION

Sheet S-104; Note 9: Attach new SP No. 01 (2x12) to each side of existing beam with construction adhesive and #12 wood screws @ 12" O.C., staggered top and bottom. Confirm the beam on Column Line 13 with the two arrows are the only beam this note applies to.

RESPONSE

Yes, correct.

24. QUESTION

Sheet S-105; Note 9 but Tagged Note 10: Attach new SP No. 01 (2x8) to each side of existing beam with construction adhesive and #12 wood screws @ 12" O.C., staggered top and bottom.

Confirm the beam on Column Line 13 with the two arrows are the only beam this note applies to.

RESPONSE

Note 10 applies to beams on Column Line 13. Note 9 applies to joists and beams in original building supporting new mechanical units on the roof.

25. QUESTION

1,200 each 4x4's per floor equals to approximately 4,800 4x4's for floor levels 1-4. Installing 4x6 timbers the piece count would be reduced to 3,200 each.

To reduce quantity in materials and labor for installation, would 4x6 timbers be acceptable for the replacement of the 4x4 timbers required to level the beams, thus leveling the floors?

RESPONSE

Yes, include in Base Bid.

26. QUESTION

Is 23/32" (4x8) tongue and groove OSB BLU PLS acceptable for the floor sheathing?

RESPONSE

Yes, include in Alternate No. 2.

27. QUESTION

Sheet S-500. Detail 6/S-500 Roof Beam Bracing detail for the Rear Addition.

Shall the fasteners be 10 to 12" lag screws fastened once at each point of connection?

RESPONSE

This will suffice.

28. QUESTION

At all typical notes where call-out for sistering existing beams and/or joists, shall the #12 wood screw be structural? There is a huge difference between a typical wood screw and #12 structural wood screw.

RESPONSE

Use #12 structural wood screws (typ).

29. QUESTION

Allowance No. 1: Quantity Allowance: Include 3,600 linear feet of brick repointing.

Confirm this Allowance shall be included in Alternate No. 01.

RESPONSE

Allowance No. 1 is included in Alternate No. 01.

30. QUESTION

Allowance No. 2: Quantity Allowance: Include 3,600 square feet of brick replacement. Confirm this Allowance shall be included in Alternate No. 01.

RESPONSE

Allowance No. 2 is included in Alternate No. 01.

31. QUESTION

Allowance No. 3: Lump-Sum Allowance: Include the sum of \$25,000 for rear addition crawlspace framing and columns. The condition of the first-floor framing and ground floor columns of the rear addition could not be assessed since it could not be viewed. Further observations are required to perform any analysis in this area. During shoring and demolition, the General Contractor is to create a penetration in the rear additional crawl space and expose the existing framing and columns for the Architect and/or Structural Engineer to review. Once reviewed the Architect will issue a drawing for the structural implications in the framing and columns. This drawing shall then be used to determine the lump-sum allowance needed to complete the work. Confirm this Allowance shall be included in Base Bid.

RESPONSE

Allowance No. 3 is included in Base Bid.

32. QUESTION

Allowance No. 4: Lump-Sum Allowance: Include the sum of \$10,000 to remove and replace any damaged wood joists, beams, or roof plank. Replacement materials to be same as the existing. Confirm this Allowance shall be included in Base Bid.

RESPONSE

Allowance No. 4 is included in Base Bid.

33. QUESTION

Allowance No. 4: Lump-Sum Allowance: Include the sum of \$10,000 to remove and replace any damaged wood joists, beams, or **roof plank**. Replacement materials to be same as the existing.

It is my understanding with the Response to Question 41 on Addendum No. 02 the entire roof is called out to have the existing sheathing removed and new three-quarter sheathing installed. Is this correct?

RESPONSE

Remove roof plank from allowance. Provide new sheathing for entire roof.

34. QUESTION

Allowance No. 5: Lump-sum Allowance: Include \$500 for Mountain Mindful exterior signage indicated on Sheet A5.02 and detail 8/A5.02.

Confirm this Allowance shall be included in Alternate No. 02, and the value covers the (5) five locations tagged on the Plan Sheets.

RESPONSE

\$500 allowance is for the Mountain Mindful sign located on East Elevation. Refer to detail 8/A5.02 for sign information. The all (4) exterior stair signage location is included in Alternate No. 02.

35. QUESTION

Temporary electrical service and lighting will be required to perform the Base Bid Scope of Work.

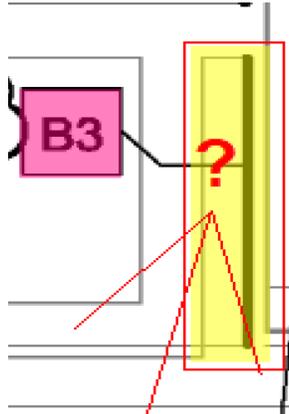
Should Alternate No. 02 not be accepted, will the temporary power and lighted be permitted to stay in place for future use by the Owner?

RESPONSE

Yes

36. QUESTION

Refer to screenshot below of area between Storage 101 & Storage 104.



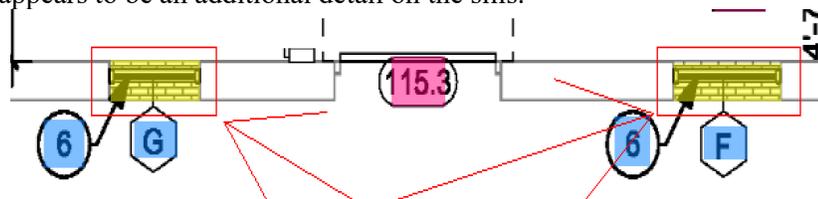
Could you elaborate on the intent of furring out a wall in an enclosed area?

RESPONSE

Intent is to provide 1 hour fire separate from Storage 101 and Storage 104.

37. QUESTION

Refer to screenshot below. These two areas are the only two areas at the windows where there appears to be an additional detail on the sills.



Can you elaborate on the intent of the additional sill detail?

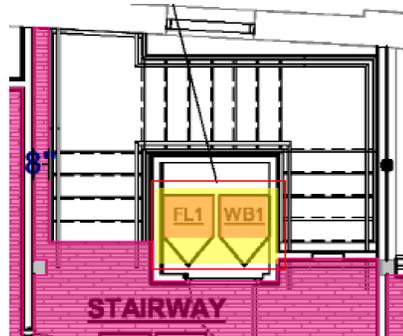
RESPONSE

No special or supplemental sill condition are intended at these two window locations. The apparent additional detail is a drafting software graphic error and shall be disregarded.

38. QUESTION

Refer to screenshot below.

Confirm the hardwood flooring is not intended to be installed under the stairs at 2nd, 3rd, & 4th floors.

**RESPONSE**

Hardwood flooring is intended to run continuously up to and under the stair assemblies, including beneath the stairs at the 2nd, 3rd and 4th floors.

39. QUESTION

Referring to Addendum No. 03; Section 096400 – Wood Flooring Part 1 A., 1. Field-finish wood flooring.

The costs to field finish the wood flooring verses prefinished wood flooring is substantial due to the wages in the field being prevailing wages. Would a prefinished hardwood floor system be acceptable?

RESPONSE

Prefinished hardwood flooring is acceptable.

40. QUESTION

Referring to Addendum No. 03;Section 096400 – Wood Flooring Part 2 – Products 2.1 Performance Requirements B. Maple Flooring & 2.2 Field-Finished Wood Flooring A, 2. Grade and Species: Clear Red Oak.

Please clarify which species of wood flooring is required.

RESPONSE

Prefinished red oak flooring.

41. QUESTION

Referring to Addendum No. 03;Section 096400 –Wood Flooring 2.3 Accessory Materials B. As specified in Section 061600 “Sheathing”, 3.1 Installation C.

Could not locate specification on wood underlayment under Section 06100 “Sheathing”, could the product requirements be provided?

RESPONSE

23/32" (4x8) tongue and groove OSB BLU PLS acceptable for the floor sheathing

42. QUESTION

Will felt be required underneath the hardwood floor?

RESPONSE

Felt is not required.

43. QUESTION

Confirm the floor sheathing is to be included in Base Bid, and all components of the hardwood flooring is to be included in Alternate No. 02 in lieu of Alternate No. 01.

RESPONSE

Floor sheathing and hardwood flooring to be included in Alternate No. 02.

44. QUESTION

Referring to Section 072100 Thermal Insulation 2.1 EXTRUDED POLYSTYRENE FOAM-PLASTIC BOARD.

Where on the plans is this product called out to be installed?

RESPONSE

Extruded polystyrene foam-plastic board insulation specified in Section 072100 – Thermal Insulation, Article 2.1 is not specifically called out for installation on the Drawings. This product is included as an acceptable insulation type where rigid board insulation is required by the Contract Documents.

45. QUESTION

Referring to Section 072100 Thermal Insulation 2.2 POLYISOCYANURATE FOAM-PLASTIC BOARD.

Where on the plans is this product called out to be installed?

RESPONSE

Polyisocyanurate foam-plastic board insulation specified in Section 072100 – Thermal Insulation, Article 2.2 is not specifically identified for installation on the Drawings. This product is included as an acceptable insulation type where rigid board insulation is required by the Contract Documents.

46. QUESTION

Referring to Section 075323 (EPDM) Roofing.

Will it be permissible to install Ice & Water Shield over the new three-quarter roof sheathing and left in place with the half inch Densglass covering the Ice & Water Shield?

RESPONSE

Installing Ice & Water Shield beneath the EPDM roofing system is not permitted unless specifically approved by the EPDM roofing manufacturer.

47. QUESTION

Referring to Section 077200 Roof Accessories 2.1 Roof Curbs.

Since the Mechanical Scope of Work is included in Alternate No. 02, except for the roof drains and drain piping, shall the roof curbs be included in Base Bid or Alternate No. 02?

RESPONSE

Alternate No. 02.

48. QUESTION

Referring to Section 077200 Roof Accessories 2.2 Equipment Supports.

Since the Mechanical Scope of Work is included in Alternate No. 02, except for the roof drains and drain piping, shall the equipment supports be included in Base Bid or Alternate No. 02?

RESPONSE

Alternate No. 02.

49. QUESTION

Referring to Section 024119 Selective Demolition; 1.6 Field Conditions: D. Hazardous Conditions and Addendum No. 02 Question/Response No. 37.

The response to question 37 . The roof was inaccessible. Approximately 7,000 sq. ft. of assumed asbestos roofing. At time of inspection, the building was still occupied.

There is a costs difference in selectively demolishing the roof materials should the roof contain asbestos materials; shall we submit our bid to include the costs of removing an asbestos containing roof or non-asbestos containing roof?

RESPONSE

Base Bid to include cost of removing asbestos containing roof material.

50. QUESTION

Referring to Plan Sheets AD.01 & AD.02 & Question/Response No. 48 in Addendum No. 02.

48. QUESTION

Referring to Sheet AD1.01 & AD1.02 Demolition Note 11; Demolish existing wall finish to existing brick. Upon observation at the prebid meeting the existing wall finish appeared to be plaster.

Has the plaster been tested for asbestos?

What shall the final finish of the exposed brick be?

RESPONSE

Refer to the asbestos report issued with Addendum No. 02 regarding testing of existing plaster. Demolition Note 11 requires removal of existing wall finishes to expose the existing brick masonry substrate. Unless otherwise noted, existing brick masonry walls to remain shall be patched and restored as necessary and left exposed. Only those masonry walls that were previously painted or plastered and are specifically indicated to receive a finish shall be painted or plastered. Unpainted masonry shall remain unpainted.

51. QUESTION

Sheets AD.01 & AD.02 has some portions noted with tagged note 11. These walls appeared to have been plastered walls. Since the entire wall will require plastering due to the Demolition Note, could a Plaster Specification be provided?

RESPONSE

No separate plaster specification is required.

52. QUESTION

Requesting connection and bearing details for the interior stair assembly that is to be included in Alternate No. 02.

RESPONSE

Upon completion of the structural repairs, we will be able to finalize the remaining details.

53. QUESTION

Referring to Detail 5/S-500 on Sheet S-500.

Confirm this detail only applies to the Exterior Stair Assembly in Alternate No. 02.

RESPONSE

Yes, applies to Alternate No. 2.

54. QUESTION

Referring to Question/Response No. 34 below.

34. QUESTION

Should the Design intent be to paint all the ceilings in Rooms 102, 103, 104, 105, 106, 107, 111, 112, 113, 114, 115, 116, 200, 201, 203, 205, 206, 207, 208, 210, 211, 215, 216, 217, 218, 300, 301, 302, 304, 306, 307, 309, 310, 311, 312, 314, 315, 402, 403, 405 & 406.

Will the overhead MEP's, including Fire Suppression piping be required to be painted

RESPONSE

Yes

55. QUESTION

Will the overhead painting of the MEP's be the same color as the ceilings or will multiple colors be required for each MEP Trade under Alternate No. 02?

Many of the columns will be exposed to the outside of the proposed finished walls as identified on the Floor Plans.

Will the columns be painted or stripped, sanded, stained, and refinished under Alternate No. 02?

RESPONSE

MEP's and ceiling will be same color. Exposed columns remain unfinished.

56. QUESTION

Referring to Sheet S-101 First Floor; (3) three deteriorated columns are identified to be replaced immediately.

It appears all (18) columns are in bold and intended to be replaced, but the note does not state typical. Do all (18) eighteen 13-1/2" x 13-1/2" heavy timber column get replaced under Base Bid?

RESPONSE

Yes, all 18 13 1/2" x 13 1/2" heavy timber columns in the basement supporting first floor framing are to be replaced.

57. QUESTION

Addendum No. 03 Question/Response No. 99 states an allowance of 12,000 SF to be included in the bid. Addendum No. 04 states all hardwood floors to be replaced. Unit Price No. 04 remain identified within the Bid Form.

The estimated take-off for all (4) four floors is approximately 22,000 SF.

For clarification, do we to submit the bid per the Allowance of 12,000 SF per Addendum No. 03 or provide a bid per Floor Plans attached?

RESPONSE

Revised Bid Form is provided in this addendum. Hardwood floors to be replaced in Alternate No. 2.

58. QUESTION

Requesting confirmation the Construction Type requires the following Fire Extinguisher Cabinets as these cabinets are 3-times the cost of a Standard Fire Extinguisher Cabinet.

Cabinets as these cabinets are 3-times the cost of a Standard Fire Extinguisher Cabinet.

B. Cabinet Construction: Nonrated, 1-hour fire rated, 2-hour fire rated. Provide rated cabinets in same rated walls.

1. Fire-Rated Cabinets: Construct fire-rated cabinets with double walls fabricated from 0.0428-inch- thick, cold-rolled steel sheet lined with minimum 5/8-inch- thick, firebarrier material. Provide factory-drilled mounting holes.

RESPONSE

Fire extinguisher cabinets shall be provided to match the fire-resistance rating of the wall in which they are installed, in accordance with the Contract Documents.

59. QUESTION

Referring to Specification Section 104416 – Fire Extinguisher
2.1 PORTABLE, HAND CARRIED FIRE EXTINGUISHERS

A. Fire Extinguishers: Type, size, and capacity for each mounting bracket indicated.

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:

- a. Amerex Corporation.
- b. Ansul Incorporated; Tyco International Ltd.
- c. Badger Fire Protection; a Kidde company.
- d. Buckeye Fire Equipment Company.

- e. Fire End & Croker Corporation.
 - f. J. L. Industries, Inc.; a division of Activar Construction Products Group.
 - g. Kidde Residential and Commercial Division; Subsidiary of Kidde plc.
 - h. Larsen's Manufacturing Company.
 - i. Moon-American.
 - j. Pem All Fire Extinguisher Corp.; a division of PEM Systems, Inc.
 - k. Potter Roemer LLC.
 - l. Pyro-Chem; Tyco Safety Products.
 - m. Architect approved equivalent.
2. Instruction Labels: Include pictorial marking system complying with NFPA 10, Appendix B.

B. Clean-Agent Type in Steel Container: UL-rated 1-A:10-B:C, 10-lb nominal capacity, with HFC

blend agent and inert material in enameled-steel container; with pressure-indicating gage. Requesting standard FE10C 10lb Fire Extinguisher by Cosmic to be an approved equal. The mercury fire extinguishers are 3-times the cost of a Standard Fire Extunisher.

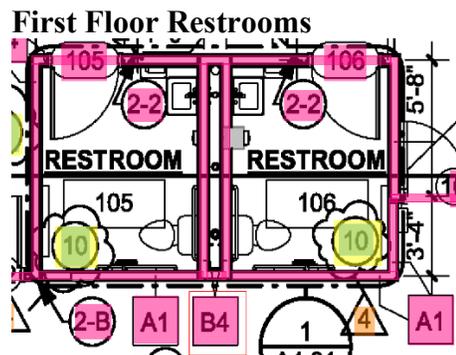
RESPONSE

Approved. Multipurpose Dry-Chemical Type: UL-rated 10 lb nominal capacity, with monoammonium phosphate-based dry chemical in manufacturer's standard enameled container.

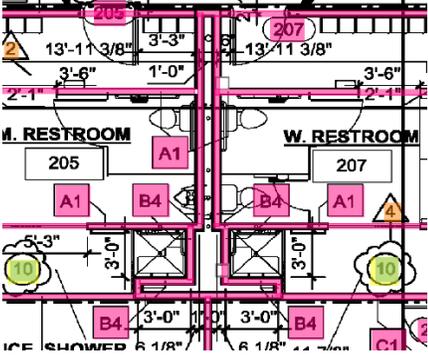
60. QUESTION

Review attached screenshots below.

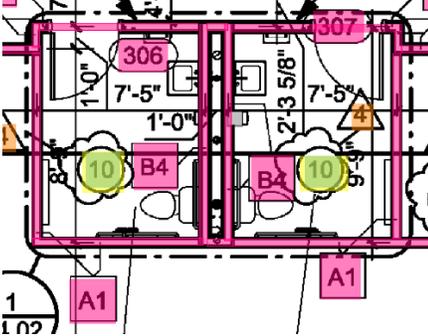
Requesting confirmation, the wet walls located in the restrooms are intended to be tagged B4.



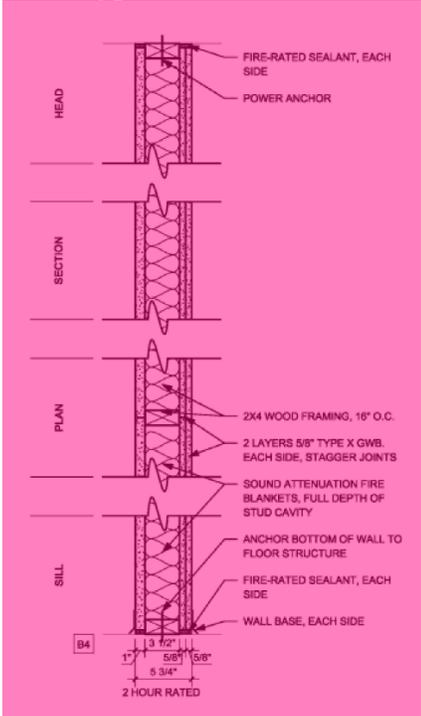
Second Floor Restrooms



Third Floor Restrooms



Wall Type B4



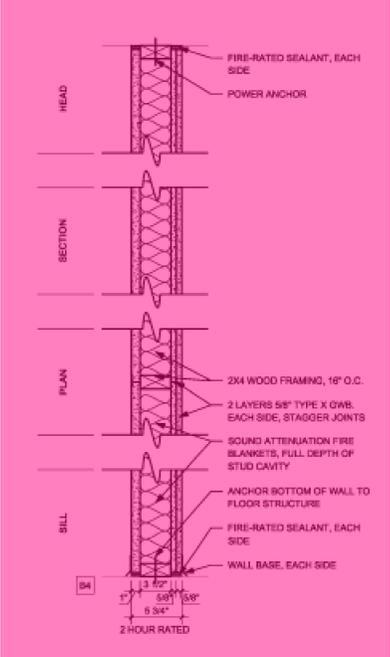
RESPONSE

Correct, provide mold-resistant gypsum board.

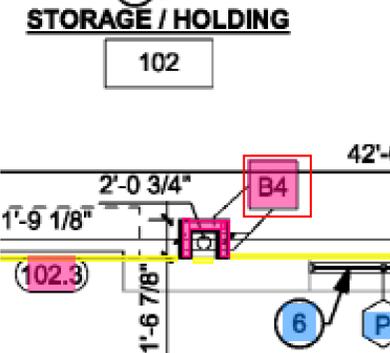
61. QUESTION

Review screenshots below.
Requesting confirmation of the Tagged Wall Type 4 for the Storm Piping Chase. Should the 2-hour rating be required at the storm piping chases, requesting approval or 2-hour shaft wall assembly as an Alternate for Wall Type B detail.
Requesting approval for 2-hour shaft wall assembly as an Alternative for the Wall Type B4 detail at Mechanical chases.

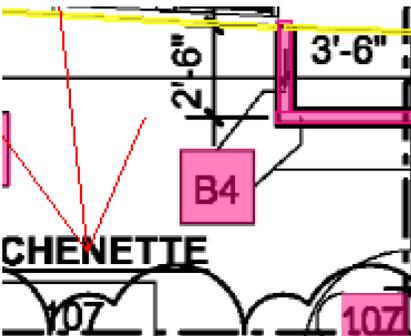
Wall Type B4



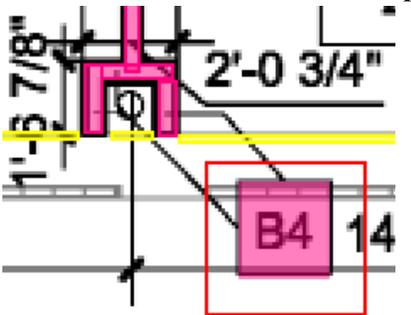
First Floor Location Storm Piping Chase



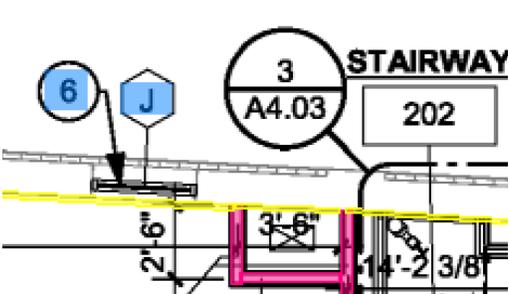
First Floor Location Mechanical Chase



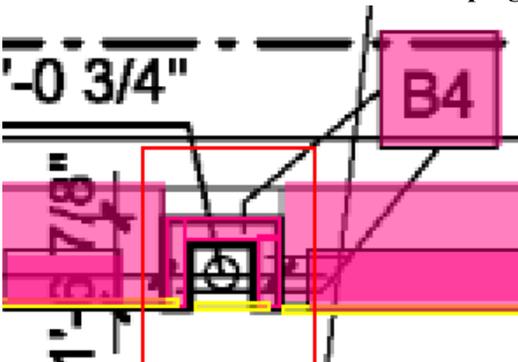
Second Floor Location Storm Piping Chase



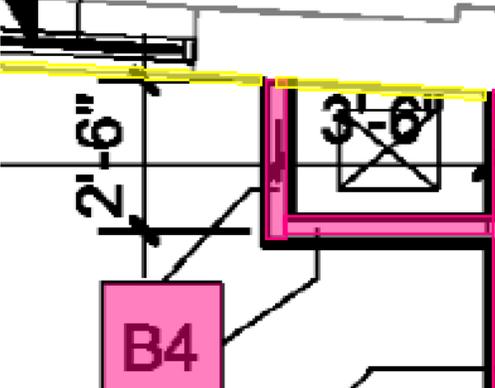
Second Floor Location Mechanical Chase



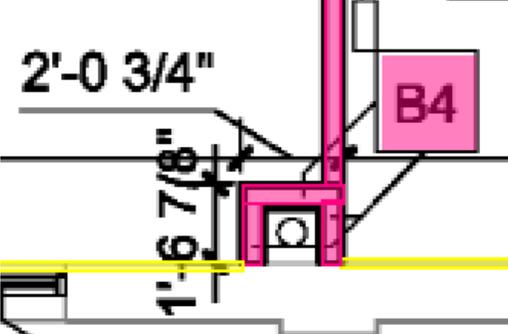
Third Floor Location Storm Drain Piping Chase



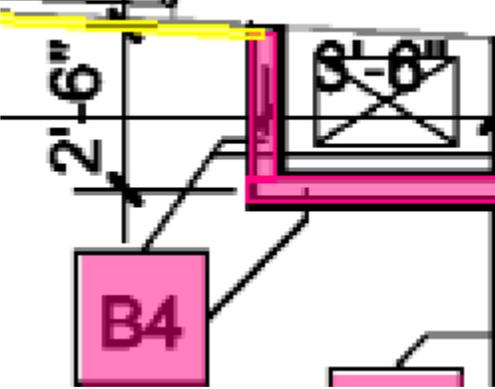
Third Floor Location Mechanical Chase



Fourth Floor Location Storm Drain Piping Chase



Fourth Floor Location Mechanical Chase



RESPONSE

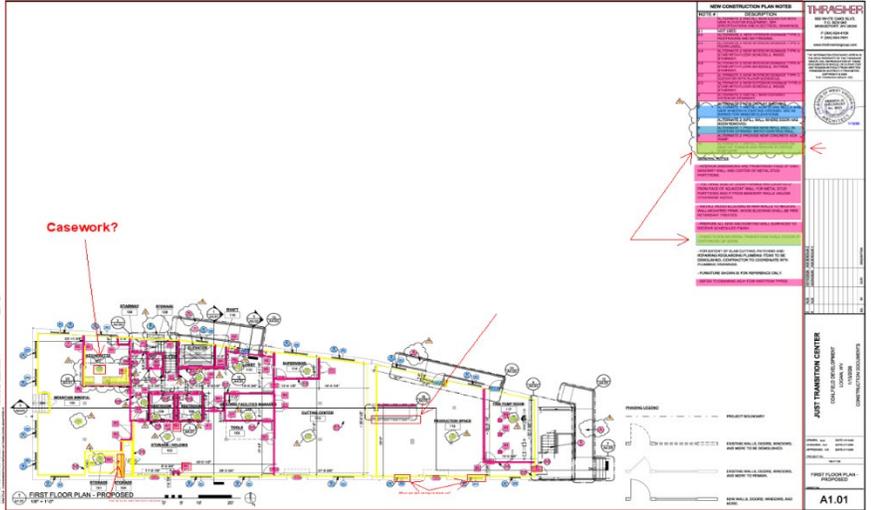
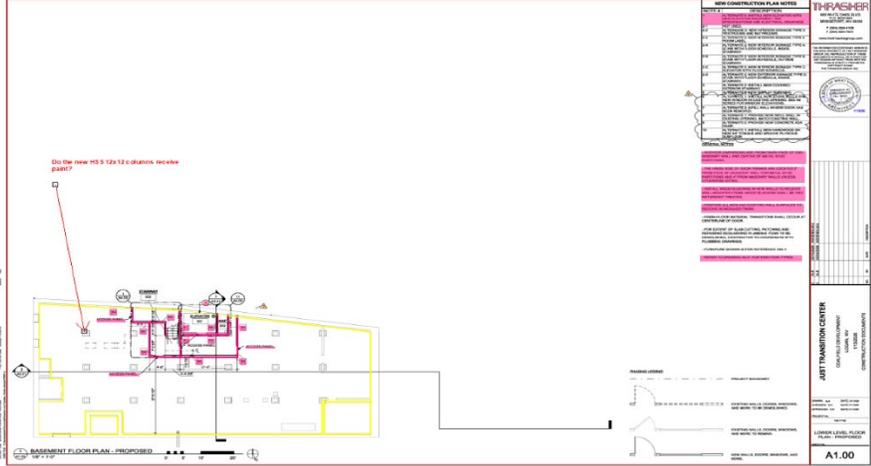
2-hour shaft wall assembly as an acceptable alternate for wall types B and B4.

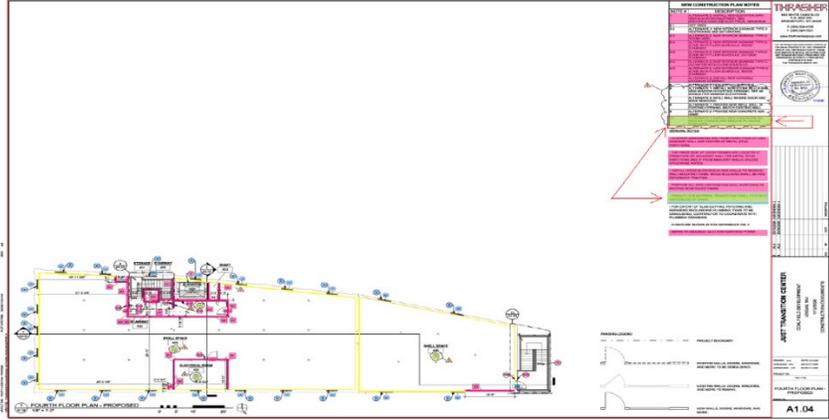
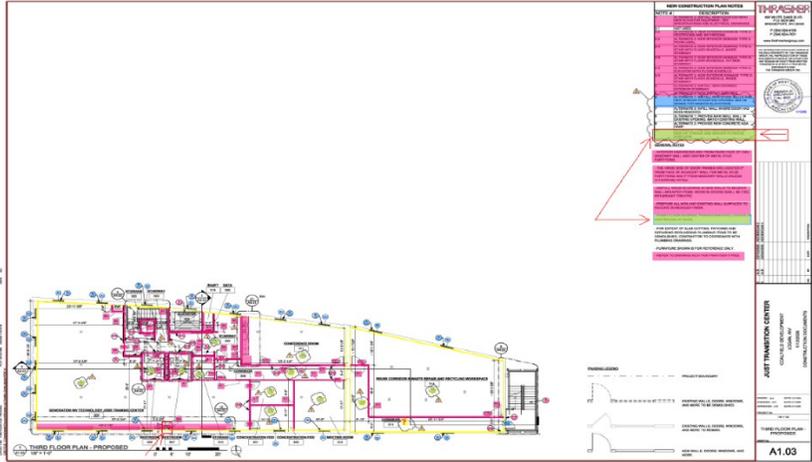
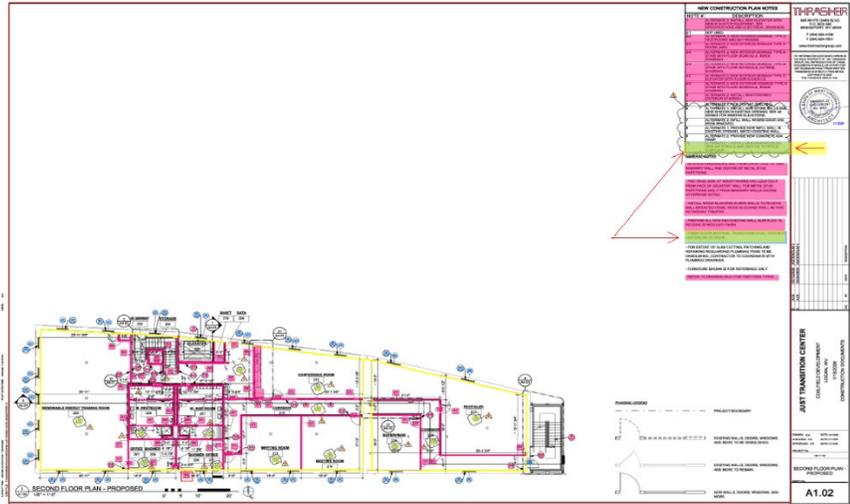
62. QUESTION

We were not permitted to return to the site to further investigate existing wall conditions thoroughly.

Review screenshots below. What is the intended finish for the walls highlighted in yellow?

Shall the HSS 12x12 be shop primed only and/or shall they be finish painted in the field. If the HSS shall be painted, shall they be painted under Base Bid or Alternate No. 02?





RESPONSE
 HSS 12x12 shall be painted in Alternate No. 2
 For the purposes of bid evaluation, provide pricing based on all wall surfaces indicated in yellow receiving new paint.

63. QUESTION

There seems to be a discrepancy with the phasing for the fire pump in relationship with the generator.

Requesting confirmation on the electrical requirements for the fire pump.

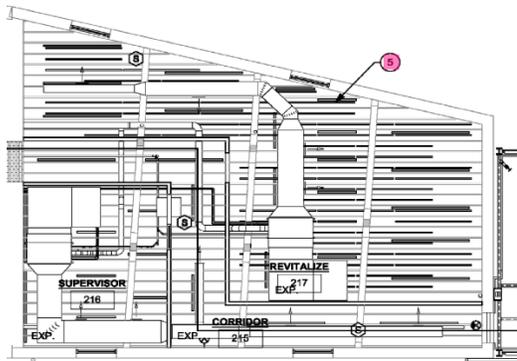
RESPONSE

If the current flow test shows there is enough pressure to operate the system in accordance with NFPA and meet all local AHJ requirements then a fire pump is not required. All plumbing components and electrical components associated with the generator and fire pump can be removed from the plans. Verify with sprinkler contractor and electrical contractor.

64. QUESTION

Referring to Sheet A1.08 New RCP Note 05 Acoustical Baffles. Refer to screenshot below. The Plan Sheet appears to identify two different widths of acoustical baffles with somewhat of a staggering design.

Could a revised Plan Sheet without the overhead MEP's be provided to show some clarity on the locations and sizing of the baffles?

**RESPONSE**

Clarity drawing provided in this addendum.

65. QUESTION

Drawing FP3.03, 4th Floor. indicates to heat trace all wet sprinkler pipe in the basement. Is it acceptable to install a dry system servicing the basement in lieu of wet? This would eliminate the need for heat trace on the system piping. Please advise.

RESPONSE

If the cost is less and there is a savings to the owner then a dry system in lieu of the wet system with heat tracing is acceptable.

66. QUESTION

The flow test provided in addendum 3 has sufficient water supply for the facility. Drawing FP5.01 indicate to provide 1000 GPM fire pump. Can this be removed? If not is the first-floor structure sufficient to hold the fire pump? The fire pump will need to sit on a concrete base

RESPONSE

If the current flow test shows there is enough pressure to operate the system in accordance with NFPA and meet all local AHJ requirements then a fire pump is not required. First-floor structure would need to be verified to be able to support a new fire pump if required.

67. QUESTION

The exterior rear stair well is be protected by an automatic dry standpipe, this need to be changed to a manual dry standpipe.

RESPONSE

If a manual dry standpipe is required then it is acceptable to change.

68. QUESTION

Is it acceptable to install the FDC on the rear of the building next to the test header location?

RESPONSE

Installation of the Fire Department Connection (FDC) at the rear of the building adjacent to the test header location is acceptable, subject to review and approval by the Fire Marshal and/or local Fire Department. Additional signage or wayfinding identifying the FDC location shall be provided as required by the Fire Marshal and/or local Fire Department.

5. CLARIFICATIONS

None

If you have any questions or comments, please feel free to contact me at your earliest convenience. As a reminder, bids will be received until **3:30 p.m. on Thursday, March 12, 2026**, at **Coalfield Development Corporation** located at **2923 Park Avenue, Huntington, WV 25704**. Good luck to everyone and thank you for your interest in the project.

Sincerely,

THE THRASHER GROUP, INC.

AMANADA CHEUVRONT, AIA NCARB

Project Manager



Enclosures:

BID FORM FOR CONSTRUCTION CONTRACT

The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

ARTICLE 1—OWNER AND BIDDER

1.01 This Bid is submitted to:

*Coalfield Development
2923 Park Ave
Huntington, WV 25704*

1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

ARTICLE 2—ATTACHMENTS TO THIS BID

2.01 The following documents are submitted with and made a condition of this Bid:

A. Bid Opening Requirements

ARTICLE 3—BASIS OF BID—LUMP SUM BID AND UNIT PRICES

GENERAL

The Bidder shall take notice of and shall be responsible for any local or state taxes levied and applicable, and the cost for the same shall be included as part of the submitted Bid.

The total Bid cost stated includes a complete operating installation including furnishing and installation of any and all changes or additions in plans, piping, mechanical work, additional electrical work, accessories, controls, etc. necessary to accommodate alternative equipment systems or materials used in construction.

BID PROPOSAL

The Bidder agrees to perform all required Work described in the detailed Specifications and as shown on the Plans for the complete construction and placing in satisfactory operation the Farmers Market and Greenhouse. The Project "Sequence of Construction" has been detailed in the Drawings and Specification Division 1, Project Summary, Section 011000. The Bidder agrees to perform all the Work proposed for the total of the following Bid prices.

3.01 *Lump Sum Bids*

A. Bidder will complete the Work in accordance with the Contract Documents for the lump sum (stipulated) price(s), shown in the bid schedule.

B. Lump Sum Bids may be one of the following:

1. Lump Sum Price (Single Lump Sum)
 2. Lump Sum Price (Base Bid and Alternates)
 3. Lump Sum Price (Sectional Lump Sum Bids)
- C. All specified cash allowance(s) are included in the price(s) set forth in the bid schedule, and have been computed in accordance with Paragraph 3.8 of the General Conditions.
- D. All specified contingency allowances are included in the price(s) set forth in the bid schedule, and have been computed in accordance with Paragraph 3.8 of the General Conditions.

BID SCHEDULE
PROPOSED
JUST TRANSITION CENTER
FOR THE
COALFIELD DEVELOPMENT
CABELL COUNTY, WEST VIRGINIA

3.02 Total Bid Price Lump Sum

NOTE: Bid PRICE amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern. Bids shall include sales tax and all other applicable taxes and fees.

BASE BID

| Item # | Qty | UNIT | DESCRIPTION | TOTAL PRICE |
|--------|-----|------|---|-------------|
| 1 | 1 | LS | <p><i>Provide all labor, materials, equipment, fees, bonds, insurance and taxes to perform the work as detailed in the plans and specifications and addenda.</i></p> <p>Structural and Roof - The base bid shall include the complete repair and replacement of the roofing system, all associated roof drainage/plumbing, and all structural scope excluding construction of the new exterior stair and the openings for the new exterior doors serving the stair.</p> | |

TOTAL BID: _____
 (Written in Words)

(Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.)

ADD ALTERNATE #1 - BUILDING ENVELOPE

| Item # | Qty | UNIT | DESCRIPTION | TOTAL PRICE |
|--------|-----|------|---|-------------|
| 1 | 1 | LS | 1. Replacement of existing window units and stone sills, replacement of existing exterior doors and masonry restoration and repair. | |

TOTAL ADD ALTERNATE #1 BID: _____
 (Written in Words)

(Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.)

ADD ALTERNATE #2 – INTERIOR FIT OUT

| Item # | Qty | UNIT | DESCRIPTION | TOTAL PRICE |
|--------|-----|------|---|-------------|
| 1 | 1 | LS | Alternate No. 2: Exterior and Interior Fit out 1. New exterior stair and ramp, installation of new exterior doors/openings, new custom canopy, elevator system and all interior build-out with associated mechanical, electrical and plumbing. | |

TOTAL ADD ALTERNATE #2 BID: _____
 (Written in Words)

(Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.)

UNIT PRICES – (For information purposes only)

| Item # | Qty. | UNIT | DESCRIPTION | UNIT PRICE | UNIT PRICE WRITTEN IN WORDS | TOTAL PRICE |
|---------------|-------------|-------------|--------------------|-------------------|------------------------------------|--------------------|
| 1 | | LF | Brick Repointing | | | |
| 2 | | SF | Brick Replacement | | | |

NOTE: THE CONTRACTOR’S UNIT PRICES SHALL INCLUDE PURCHASE AND INSTALLATION, COMPLETE IN PLACE, PER BID ITEM IN ACCORDANCE WITH THE DETAILED SPECIFICATIONS AND DESCRIPTIONS OF ITEMS.

Unit Prices have been computed in accordance with the following conditions:

- A. Where the Contract Documents provide that all or part of the Work is to be Unit Price Work, initially the Contract Price will be deemed to include for all Unit Price Work an amount equal to the sum of the unit price for each separately identified item of Unit Price Work times the estimated quantity of each item as indicated in the Agreement.
- B. The estimated quantities of items of Unit Price Work are not guaranteed and are solely for the purpose of comparison of Bids and determining an initial Contract Price. Determinations of the actual quantities and classifications of Unit Price Work performed by Contractor will be made by Engineer. Engineer will determine the actual quantities and classifications of Unit Price Work performed by Contractor. Engineer will review with Contractor the Engineer’s preliminary determinations on such matters before rendering a written decision thereon (by recommendation of an Application for Payment or otherwise). Engineer’s written decision thereon will be final and binding (except as modified by Engineer to reflect changed factual conditions or more accurate data) upon Owner and Contractor, subject to the provisions of Paragraph 10.05.
- C. Each unit price will be deemed to include an amount considered by Contractor to be adequate to cover Contractor’s overhead and profit for each separately identified item.
- D. Owner or Contractor may make a Claim for an adjustment in the Contract Price in if:

1. the quantity of any item of Unit Price Work performed by Contractor differs materially and significantly from the estimated quantity of such item indicated in the Agreement; and
2. there is no corresponding adjustment with respect to any other item of Work; and
3. Contractor believes that Contractor is entitled to an increase in Contract Price as a result of having incurred additional expense or Owner believes that Owner is entitled to a decrease in Contract Price and the parties are unable to agree as to the amount of any such increase or decrease.

Bidder acknowledges that estimated quantities are not guaranteed and are solely for the purpose of comparison of Bids, and final payment for all unit price Bid items will be based on actual quantities, determined as provided in the Contract Documents.

3.02 *Method of Award*

If at the time this contract is to be awarded, the lowest total bid submitted by a qualified, responsive, responsible Bidder does not exceed the amount of funds then estimated by the Owner, as available to finance the contract, the construction contract will be awarded. Awarding of Additive Alternate(s) will not affect the lowest Bidder. If such bids exceed such amount, the Owner may reject all bids.

The Owner will award the contract on the total base bid amount inclusive or exclusive of alternates as determined by the Owner and submitted by a qualified, responsive, responsible Bidder. The Owner may elect to award any or all of the additive alternates in no particular order.

- A. Unit prices have been computed in accordance with paragraph 13.03.A of the General Conditions.
- B. Bidder acknowledges that estimated quantities are not guaranteed and are solely for the purpose of comparison of Bids, and final payment for all Unit Price Bid items will be based on actual quantities, determined as provided in the Contract Documents.

ARTICLE 4—DELETED

ARTICLE 5—TIME OF COMPLETION

- 5.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Article 8 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement.
- 5.02 Bidder accepts the provisions of the Agreement as to liquidated damages.

ARTICLE 6—BIDDER’S ACKNOWLEDGEMENTS: ACCEPTANCE PERIOD, INSTRUCTIONS, AND RECEIPT OF ADDENDA

6.01 *Bid Acceptance Period*

- A. This Bid will remain subject to acceptance for 90 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.

6.02 *Instructions to Bidders*

- A. Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security.

6.03 *Receipt of Addenda*

- A. Bidder hereby acknowledges receipt of the following Addenda:

| Addendum Number | Addendum Date |
|-----------------|---------------|
| | |
| | |
| | |
| | |
| | |
| | |

ARTICLE 7—BIDDER’S REPRESENTATIONS AND CERTIFICATIONS

7.01 *Bidder’s Representations*

- A. In submitting this Bid, Bidder represents the following:
1. Bidder has examined and carefully studied the Bidding Documents, including Addenda.
 2. Bidder has visited the Site, conducted a thorough visual examination of the Site and adjacent areas, and become familiar with the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
 3. Bidder is familiar with all Laws and Regulations that may affect cost, progress, and performance of the Work.
 4. Bidder has carefully studied the reports of explorations and tests of subsurface conditions at or adjacent to the Site and the drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, with respect to the Technical Data in such reports and drawings.
 5. Bidder has carefully studied the reports and drawings relating to Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, with respect to Technical Data in such reports and drawings.
 6. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and the Technical Data identified in the Supplementary Conditions or by definition, with respect to the effect of such information, observations, and Technical Data on (a) the cost, progress, and performance of the Work; (b) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder, if selected as Contractor; and (c) Bidder’s (Contractor’s) safety precautions and programs.
 7. Based on the information and observations referred to in the preceding paragraph, Bidder agrees that no further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract.
 8. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
 9. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and of discrepancies between Site conditions and the Contract Documents, and the written resolution thereof by Engineer is acceptable to Contractor.
 10. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.
 11. The submission of this Bid constitutes an incontrovertible representation by Bidder that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

7.02 *Bidder’s Certifications*

- A. The Bidder certifies the following:

1. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation.
2. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid.
3. Bidder has not solicited or induced any individual or entity to refrain from bidding.
4. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 8.02.A:
 - a. Corrupt practice means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process.
 - b. Fraudulent practice means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition.
 - c. Collusive practice means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish bid prices at artificial, non-competitive levels.
 - d. Coercive practice means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

BIDDER hereby submits this Bid as set forth above:

Bidder:

(typed or printed name of organization)

By: _____
(individual's signature)

Name: _____
(typed or printed)

Title: _____
(typed or printed)

Date: _____
(typed or printed)

If Bidder is a corporation, a partnership, or a joint venture, attach evidence of authority to sign.

Attest: _____
(individual's signature)

Name: _____
(typed or printed)

Title: _____
(typed or printed)

Date: _____
(typed or printed)

Address for giving notices:

Bidder's Contact:

Name: _____
(typed or printed)

Title: _____
(typed or printed)

Phone: _____

Email: _____

Address: _____

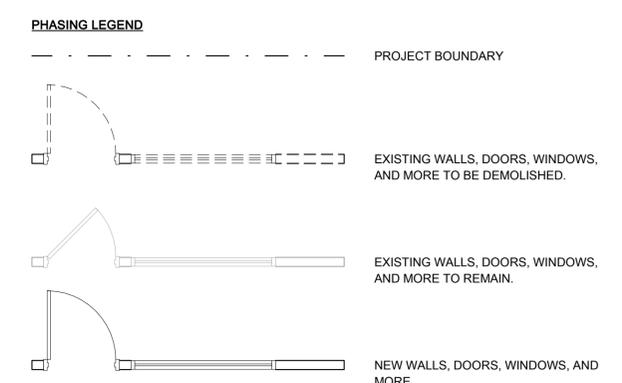
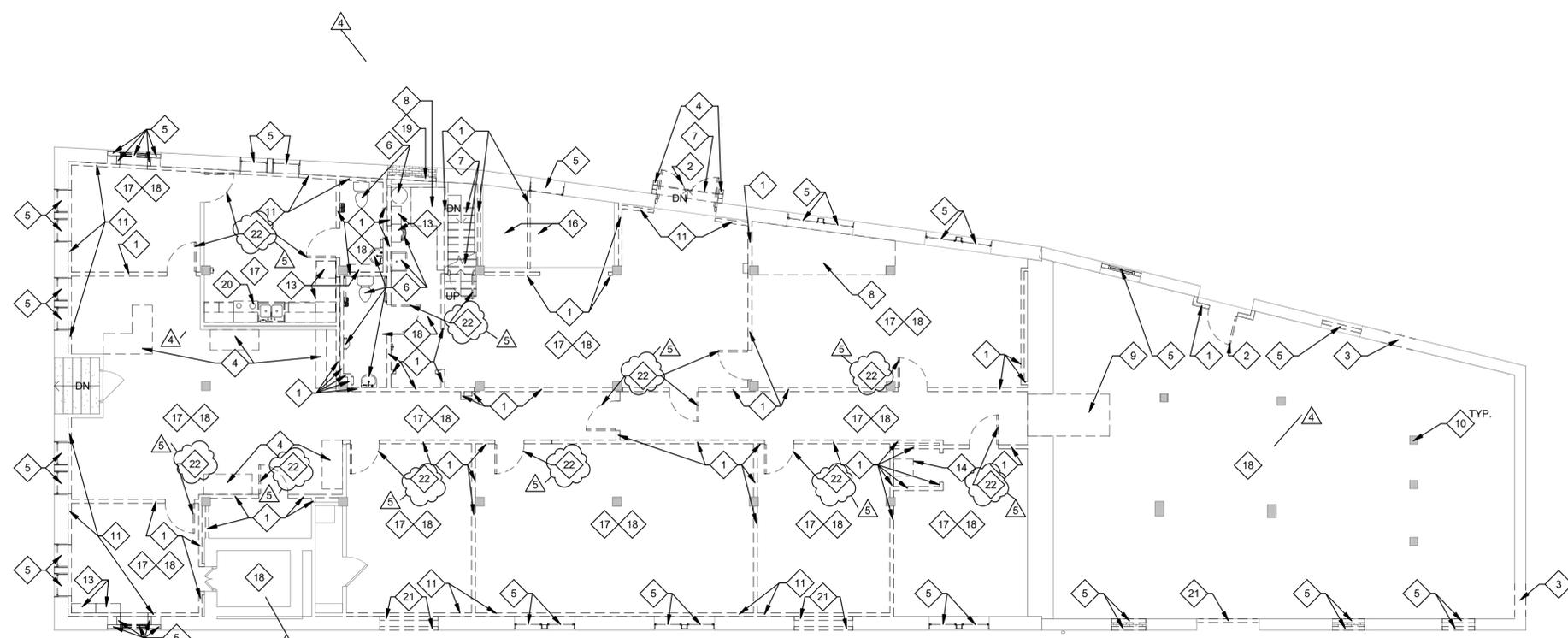
Bidder's Contractor License No.: (if applicable) _____

GENERAL DEMOLITION NOTES

- CONTRACTOR TO COORDINATE DEMOLITION WITH ALL OTHER SHEETS AND DOCUMENTS.
- DIMENSIONS GIVEN AS REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS NECESSARY TO FULFILL THE INTENT/SCOPE OF THE WORK PRIOR TO COMMENCING THE WORK.
- PROTECT ALL ITEMS TO REMAIN. PATCH AND REPAIR ALL ITEMS AND FINISHES TO REMAIN IF DAMAGED. VOIDS OR DAMAGES TO EXISTING STRUCTURES, FINISHES AND/OR SITE ITEMS TO REMAIN MUST BE REPAIRED TO MATCH OR EXCEED EXISTING CONDITIONS UNLESS OTHERWISE NOTED.
- COORDINATE ALL EXISTING BUILDING AND SITE UTILITIES WITH ALL DOCUMENTS. DISRUPTION OF ANY UTILITY AND/OR SERVICE NOT ADDRESSED IN THE CONSTRUCTION DOCUMENTS MUST BE APPROVED BY THE ARCHITECT/OWNER BEFORE DISRUPTION.
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE LAWS.
- CAP ALL UTILITIES AS REQUIRED INSIDE OF WALL OR BELOW FINISH FLOOR. CONFIRM WITH ARCHITECT.
- ALL REMOVALS AND SALVAGE: SALVAGEABLE ITEMS SHALL FIRST BE OFFERED TO THE OWNER. SALVAGEABLE ITEMS THAT ARE NOT RETAINED BY THE OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR & SHALL BE LEGALLY DISPOSED OF OFF SITE.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY AND CONTACT ARCHITECT IF REQUIRED FOR VERIFICATION, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.

DEMOLITION PLAN NOTES

| NOTE # | DESCRIPTION |
|--------|---|
| 1 | ALTERNATE 2: DEMOLISH EXISTING PARTITION FULL HEIGHT |
| 2 | ALTERNATE 1: REMOVE EXISTING EXTERIOR DOOR AND FRAME. |
| 3 | ALTERNATE 2: REMOVE PORTION OF EXISTING WALK FOR NEW DOOR OPENING. SEE NEW FLOOR PLANS. |
| 4 | ALTERNATE 2: DEMOLISH OR REMOVE EXISTING FURNISHINGS. |
| 5 | ALTERNATE 1: DEMOLISH EXISTING INFILLING ELEMENTS AND/OR REMOVE EXISTING WINDOW (IF PRESENT) WITHIN EXISTING OPENING. REMOVE EXISTING STONE SILL AND PREPARE FOR NEW STONE SILL AND NEW WINDOW. |
| 6 | ALTERNATE 2: REMOVE EXISTING PLUMBING FIXTURE WITH ACCESSORIES. |
| 7 | ALTERNATE 2: DEMOLISH EXISTING STAIRWAY. |
| 8 | ALTERNATE 2: DEMOLISH PORTION OF EXISTING FLOOR. COORDINATE W/ NEW FLOOR PLAN. |
| 9 | ALTERNATE 2: DEMOLISH EXISTING RAMP ASSEMBLY. |
| 10 | ALTERNATE 2: REMOVE WRAP DOWN TO H.T. COLUMN. |
| 11 | ALTERNATE 2: DEMOLISH EXISTING WALL FINISH DOWN TO EXISTING BRICK. |
| 12 | ALTERNATE 2: REMOVE EXISTING ELECTRICAL PANEL AND ACCESSORIES FOR RELOCATION OR REPLACEMENT. SEE ELECTRICAL DRAWINGS. |
| 13 | ALTERNATE 2: REMOVE EXISTING CASEWORK. |
| 14 | ALTERNATE 2: REMOVE EXISTING HVAC EQUIPMENT. SEE MECHANICAL DRAWINGS. |
| 15 | ALTERNATE 2: REMOVE EXISTING WINDOW & STONE SILL. |
| 16 | ALTERNATE 2: REMOVE EXISTING LIFT AND LIFT EQUIPMENT. |
| 17 | BASE BID: REMOVE ALL CEILING AND ASSOCIATED LIGHTING, DIFFUSERS, ETC. IN THIS AREA. |
| 18 | ALTERNATE 2: REMOVE FLOOR FINISH & SUB FLOOR DOWN TO FRAMING. |
| 19 | ALTERNATE 1: DEMOLISH EXISTING INFILLING ELEMENTS WITHIN EXISTING OPENING. REMOVE EXISTING STONE SILL. INFILL EXISTING OPENING TO MATCH EXISTING WALL. |
| 20 | ALTERNATE 2: REMOVE EXISTING STOVE. SALVAGE STOVE TURN OVER TO OWNER. |
| 21 | ALTERNATE 2: DEMOLISH EXISTING INFILLING ELEMENTS AND/OR REMOVE EXISTING WINDOW (IF PRESENT) WITHIN EXISTING OPENING. REMOVE EXISTING STONE SILL AND PREPARE FOR NEW STONE SILL AND NEW CEILING DOOR. |
| 22 | ALTERNATE 2: REMOVE EXISTING INTERIOR DOOR AND FRAME. |



1 FIRST FLOOR PLAN - DEMOLITION
AD1.01 1/8" = 1'-0"
0' 5' 10' 20'

| NO. | BY | DATE | DESCRIPTION |
|-----|-----|------------|-------------|
| 4 | ALB | 02/24/2026 | ADDENDUM 4 |
| 5 | ALB | 03/05/2026 | ADDENDUM 5 |

JUST TRANSITION CENTER
COALFIELD DEVELOPMENT
LOGAN, WV
1/13/2026
CONSTRUCTION DOCUMENTS

DRAWN: ALB DATE: 01/13/26
CHECKED: AJC DATE: 01/13/26
APPROVED: AJC DATE: 01/13/26

PROJECT No. T60-11108

FIRST FLOOR PLAN - DEMOLITION

SHEET No. **AD1.01**



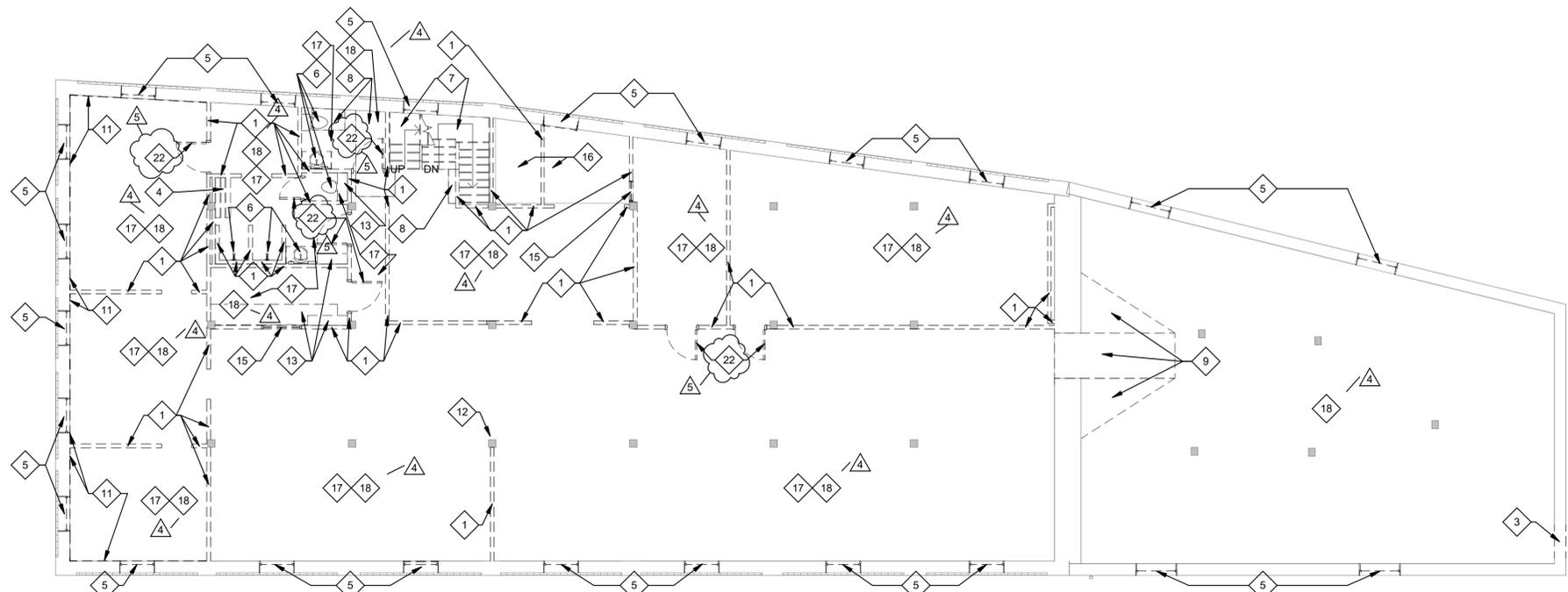
GENERAL DEMOLITION NOTES

- CONTRACTOR TO COORDINATE DEMOLITION WITH ALL OTHER SHEETS AND DOCUMENTS.
- DIMENSIONS GIVEN AS REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS NECESSARY TO FULFILL THE INTENT/SCOPE OF THE WORK PRIOR TO COMMENCING THE WORK.
- PROTECT ALL ITEMS TO REMAIN. PATCH AND REPAIR ALL ITEMS AND FINISHES TO REMAIN IF DAMAGED. VOIDS OR DAMAGES TO EXISTING STRUCTURES, FINISHES AND/OR SITE ITEMS TO REMAIN MUST BE REPAIRED TO MATCH OR EXCEED EXISTING CONDITIONS UNLESS OTHERWISE NOTED.
- COORDINATE ALL EXISTING BUILDING AND SITE UTILITIES WITH ALL DOCUMENTS. DISRUPTION OF ANY UTILITY AND/OR SERVICE NOT ADDRESSED IN THE CONSTRUCTION DOCUMENTS MUST BE APPROVED BY THE ARCHITECT/TOWNER BEFORE DISRUPTION.
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE LAWS.
- CAP ALL UTILITIES AS REQUIRED INSIDE OF WALL OR BELOW FINISH FLOOR. CONFIRM WITH ARCHITECT.
- ALL REMOVALS AND SALVAGE: SALVAGEABLE ITEMS SHALL FIRST BE OFFERED TO THE OWNER. SALVAGEABLE ITEMS THAT ARE NOT RETAINED BY THE OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR & SHALL BE LEGALLY DISPOSED OF OFF SITE.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY AND CONTACT ARCHITECT IF REQUIRED FOR VERIFICATION, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.

DEMOLITION PLAN NOTES

| NOTE # | DESCRIPTION |
|--------|---|
| 1 | ALTERNATE 2: DEMOLISH EXISTING PARTITION FULL HEIGHT. |
| 2 | ALTERNATE 1: REMOVE EXISTING EXTERIOR DOOR AND FRAME. |
| 3 | ALTERNATE 2: REMOVE PORTION OF EXISTING WALK FOR NEW DOOR OPENING. SEE NEW FLOOR PLANS. |
| 4 | ALTERNATE 2: DEMOLISH OR REMOVE EXISTING FURNISHINGS. |
| 5 | ALTERNATE 1: DEMOLISH EXISTING INFILLING ELEMENTS AND/OR REMOVE EXISTING WINDOW (IF PRESENT) WITHIN EXISTING OPENING. REMOVE EXISTING STONE SILL AND PREPARE FOR NEW STONE SILL AND NEW WINDOW. |
| 6 | ALTERNATE 2: REMOVE EXISTING PLUMBING FIXTURE WITH ACCESSORIES. |
| 7 | ALTERNATE 2: DEMOLISH EXISTING STAIRWAY. |
| 8 | ALTERNATE 2: DEMOLISH PORTION OF EXISTING FLOOR. COORDINATE W/ NEW FLOOR PLAN. |
| 9 | ALTERNATE 2: DEMOLISH EXISTING RAMP ASSEMBLY. |
| 10 | ALTERNATE 2: REMOVE WRAP DOWN TO H.T. COLUMN. |
| 11 | ALTERNATE 2: DEMOLISH EXISTING WALL FINISH DOWN TO EXISTING BRICK. |
| 12 | ALTERNATE 2: REMOVE EXISTING ELECTRICAL PANEL AND ACCESSORIES FOR RELOCATION OR REPLACEMENT. SEE ELECTRICAL DRAWINGS. |
| 13 | ALTERNATE 2: REMOVE EXISTING CASEWORK. |
| 14 | ALTERNATE 2: REMOVE EXISTING HVAC EQUIPMENT. SEE MECHANICAL DRAWINGS. |
| 15 | ALTERNATE 2: REMOVE EXISTING WINDOW & STONE SILL. |
| 16 | ALTERNATE 2: REMOVE EXISTING LIFT AND LIFT EQUIPMENT. |
| 17 | BASE BID REMOVE ALL CEILING AND ASSOCIATED LIGHTING, DIFFUSERS, ETC. IN THIS AREA. |
| 18 | ALTERNATE 2: REMOVE FLOOR FINISH & SUB FLOOR DOWN TO FRAMING. |
| 19 | ALTERNATE 1: DEMOLISH EXISTING INFILLING ELEMENTS WITHIN EXISTING OPENING. REMOVE EXISTING STONE SILL. INFILL EXISTING OPENING TO MATCH EXISTING WALL. |
| 20 | ALTERNATE 2: REMOVE EXISTING STOVE. SALVAGE STOVE TURN OVER TO OWNER. |
| 21 | ALTERNATE 2: DEMOLISH EXISTING INFILLING ELEMENTS AND/OR REMOVE EXISTING WINDOW (IF PRESENT) WITHIN EXISTING OPENING. REMOVE EXISTING STONE SILL AND PREPARE FOR NEW STONE SILL AND NEW CEILING DOOR. |
| 22 | ALTERNATE 2: REMOVE EXISTING INTERIOR DOOR AND FRAME. |

| NO. | BY | DATE | DESCRIPTION |
|-----|-----|------------|-------------|
| 4 | ALB | 02/24/2026 | ADDENDUM 4 |
| 5 | ALB | 03/05/2026 | ADDENDUM 5 |



PHASING LEGEND

- PROJECT BOUNDARY
- EXISTING WALLS, DOORS, WINDOWS, AND MORE TO BE DEMOLISHED.
- EXISTING WALLS, DOORS, WINDOWS, AND MORE TO REMAIN.
- NEW WALLS, DOORS, WINDOWS, AND MORE.

1 SECOND FLOOR PLAN - DEMOLITION
AD1.02 1/8" = 1'-0"
0' 5' 10' 20'

JUST TRANSITION CENTER
COALFIELD DEVELOPMENT
LOGAN, WV
1/13/2026
CONSTRUCTION DOCUMENTS

DRAWN: ALB DATE: 01/13/26
CHECKED: AJC DATE: 01/13/26
APPROVED: AJC DATE: 01/13/26

PROJECT No. T60-11108

SECOND FLOOR PLAN - DEMOLITION

SHEET No. **AD1.02**

THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF THE THRASHER GROUP, INC. REPRODUCTION OF THESE DOCUMENTS IN WHOLE, OR IN PART FOR ANY REASON WITHOUT PRIOR WRITTEN PERMISSION IS STRICTLY PROHIBITED.
 COPYRIGHT © 2026
 THE THRASHER GROUP, INC.



| NEW CONSTRUCTION PLAN NOTES | |
|-----------------------------|--|
| NOTE # | DESCRIPTION |
| 1 | ALTERNATE 2: INSTALL NEW ELEVATOR WITH NEW ELEVATOR EQUIPMENT. SEE SPECIFICATIONS AND ELECTRICAL DRAWINGS. |
| 2-1 | NOT USED. |
| 2-2 | ALTERNATE 2: NEW INTERIOR SIGNAGE TYPE 2: RESTROOMS AND BATHROOMS. |
| 2-3 | ALTERNATE 2: NEW INTERIOR SIGNAGE TYPE 3: ROOM LABEL. |
| 2-A | ALTERNATE 2: NEW INTERIOR SIGNAGE TYPE A: STAIR WITH FLOOR SCHEDULE, INSIDE STAIRWAY. |
| 2-B | ALTERNATE 2: NEW INTERIOR SIGNAGE TYPE B: STAIR WITH FLOOR SCHEDULE, OUTSIDE STAIRWAY. |
| 2-C | ALTERNATE 2: NEW INTERIOR SIGNAGE TYPE C: ELEVATOR WITH FLOOR SCHEDULE. |
| 2-D | ALTERNATE 2: NEW INTERIOR SIGNAGE TYPE D: STAIR WITH FLOOR SCHEDULE, INSIDE STAIRWAY. |
| 3 | ALTERNATE 2: INSTALL NEW COVERED EXTERIOR STAIRWAY. |
| 5 | ALTERNATE 2: NEW DISPLAY SHELVING. |
| 6 | ALTERNATE 1: INSTALL NEW STONE SILLIS AND NEW WINDOW IN EXISTING OPENING. SEE A6 SERIES FOR WINDOW ELEVATIONS. |
| 7 | ALTERNATE 2: INFILL WALL WHERE DOOR HAS BEEN REMOVED. |
| 8 | ALTERNATE 1: PROVIDE NEW INFILL WALL IN EXISTING OPENING. MATCH EXISTING WALL. |
| 9 | ALTERNATE 2: PROVIDE NEW CONCRETE ADA RAMP. |
| 10 | ALTERNATE 2: INSTALL NEW HARDWOOD ON NEW 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR. |

GENERAL NOTES

- INTERIOR DIMENSIONS ARE FROM FINISH FACE OF CMU MASONRY WALL AND CENTER OF METAL STUD PARTITIONS.
- THE HINGE SIDE OF DOOR FRAMES ARE LOCATED 2" FROM FACE OF ADJACENT WALL FOR METAL STUD PARTITIONS AND 4" FROM MASONRY WALLS UNLESS OTHERWISE NOTED.
- INSTALL WOOD BLOCKING IN NEW WALLS TO RECEIVE WALL-MOUNTED ITEMS. WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED.
- PREPARE ALL NEW AND EXISTING WALL SURFACES TO RECEIVE SCHEDULED FINISH.
- FINISH FLOOR MATERIAL TRANSITIONS SHALL OCCUR AT CENTERLINE OF DOOR.
- FOR EXTENT OF SLAB CUTTING, PATCHING AND REPAIRING REGARDING PLUMBING ITEMS TO BE DEMOLISHED, CONTRACTOR TO COORDINATE WITH PLUMBING DRAWINGS.
- FURNITURE SHOWN IS FOR REFERENCE ONLY.
- REFER TO DRAWING A5.01 FOR PARTITION TYPES.

| NO. | BY | DATE | DESCRIPTION |
|-----|-----|------------|-------------|
| 2 | ALB | 02/10/2026 | ADDENDUM 2 |
| 4 | ALB | 02/24/2026 | ADDENDUM 4 |
| 5 | ALB | 03/05/2026 | ADDENDUM 6 |

JUST TRANSITION CENTER
 COALFIELD DEVELOPMENT
 LOGAN, WV
 1/13/2026
 CONSTRUCTION DOCUMENTS

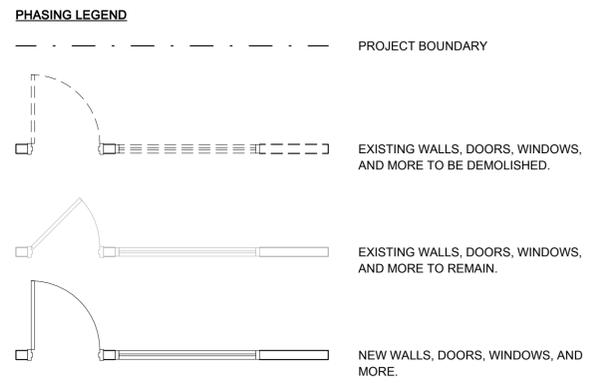
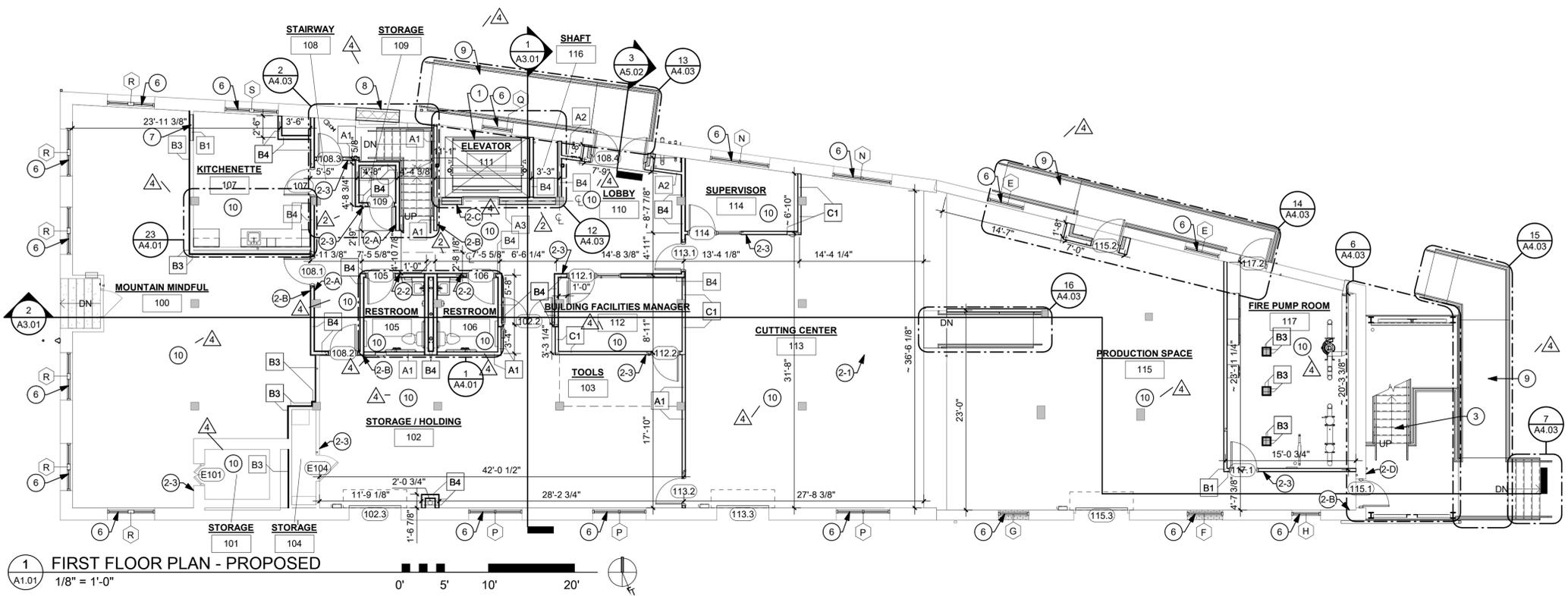
DRAWN: ALB DATE: 01/13/26
 CHECKED: AJC DATE: 01/13/26
 APPROVED: AJC DATE: 01/13/26

PROJECT No. T60-11108

FIRST FLOOR PLAN - PROPOSED

SHEET No.

A1.01

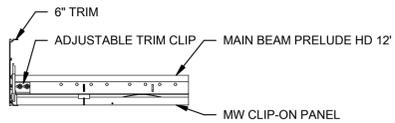


1 FIRST FLOOR PLAN - PROPOSED
 A1.01 1/8" = 1'-0"

LAYOUT TAB - FIRST FLOOR PLAN - PROPOSED
 CAD FILE: C:\Users\alshelton\Documents\Just Transition_Central_Ashelton\F206.rvt
 PLOT DATE/TIME: 3/5/2026 1:28:38 PM
 USER: ALB

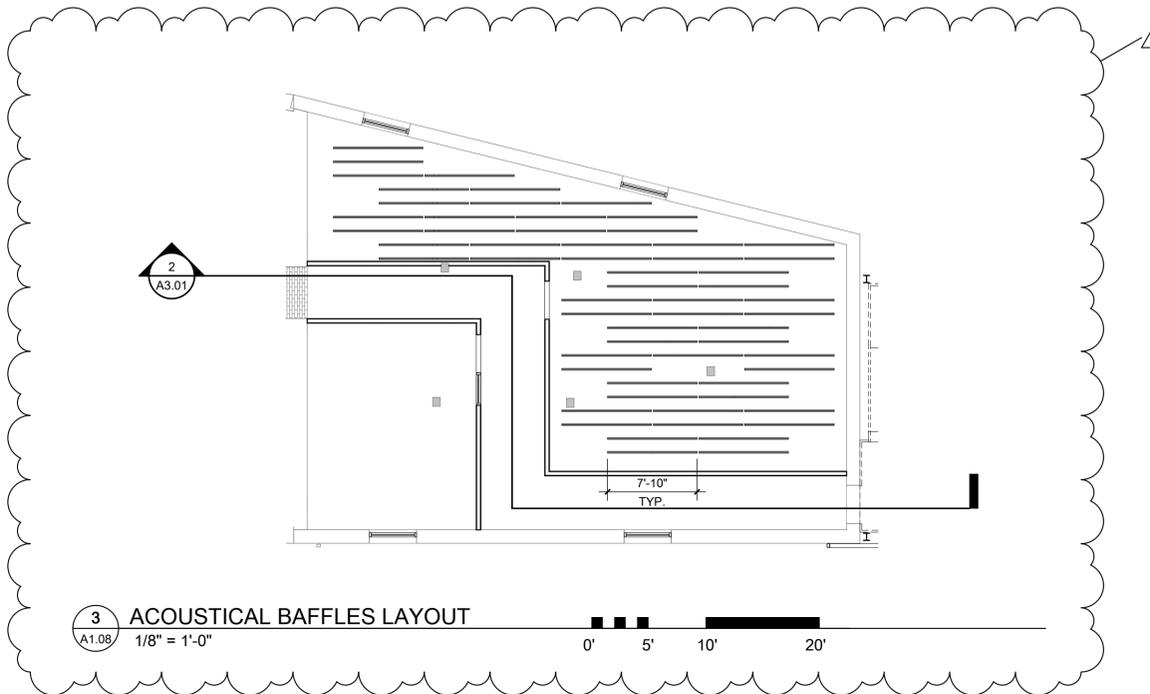
| NEW CONSTRUCTION RCP NOTES | |
|----------------------------|---|
| NOTE # | DESCRIPTION |
| 1 | ALTERNATE 2: APPLY SPRAY-ON FIREPROOFING TO FLOOR DECK AND STRUCTURAL ELEMENTS. |
| 2 | ALTERNATE 2: INSTALL NEW COVERED EXTERIOR STAIRWAY. |
| 3 | ALTERNATE 2: APPLY SPRAY-ON FIREPROOFING TO ROOF DECK AND STRUCTURAL ELEMENTS. |
| 4 | PROVIDE NEW ROOF HATCH. CUT NEW OPENING IN ROOF ASSEMBLY AND STRUCTURE FOR HATCH. FRAME NEW OPENING WITH NEW STRUCTURE. |
| 5 | ALTERNATE 2: PROVIDE NEW ACOUSTICAL BAFFLES BETWEEN EXISTING JOISTS. |
| 6 | ALTERNATE 2: PROVIDE 2X2 ACT SUSPENDED ACOUSTICAL CEILING. |

- GENERAL NOTES**
- INTERIOR DIMENSIONS ARE FROM FINISH FACE OF CMU MASONRY WALL AND CENTER OF METAL STUD PARTITIONS.
 - THE HINGE SIDE OF DOOR FRAMES ARE LOCATED 2" FROM FACE OF ADJACENT WALL FOR METAL STUD PARTITIONS AND 4" FROM MASONRY WALLS UNLESS OTHERWISE NOTED.
 - INSTALL WOOD BLOCKING IN NEW WALLS TO RECEIVE WALL-MOUNTED ITEMS. WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED.
 - PREPARE ALL NEW AND EXISTING WALL SURFACES TO RECEIVE SCHEDULED FINISH.
 - FINISH FLOOR MATERIAL TRANSITIONS SHALL OCCUR AT CENTERLINE OF DOOR.
 - FOR EXTENT OF SLAB CUTTING, PATCHING AND REPAIRING REGARDING PLUMBING ITEMS TO BE DEMOLISHED, CONTRACTOR TO COORDINATE WITH PLUMBING DRAWINGS.
 - FURNITURE SHOWN IS FOR REFERENCE ONLY.
 - REFER TO DRAWING A5.01 FOR PARTITION TYPES.



ALTERNATE 2: ACOUSTICAL

2 CLOUD DETAIL
A1.08 1 1/2" = 1'-0"



3 ACOUSTICAL BAFFLES LAYOUT
A1.08 1/8" = 1'-0"

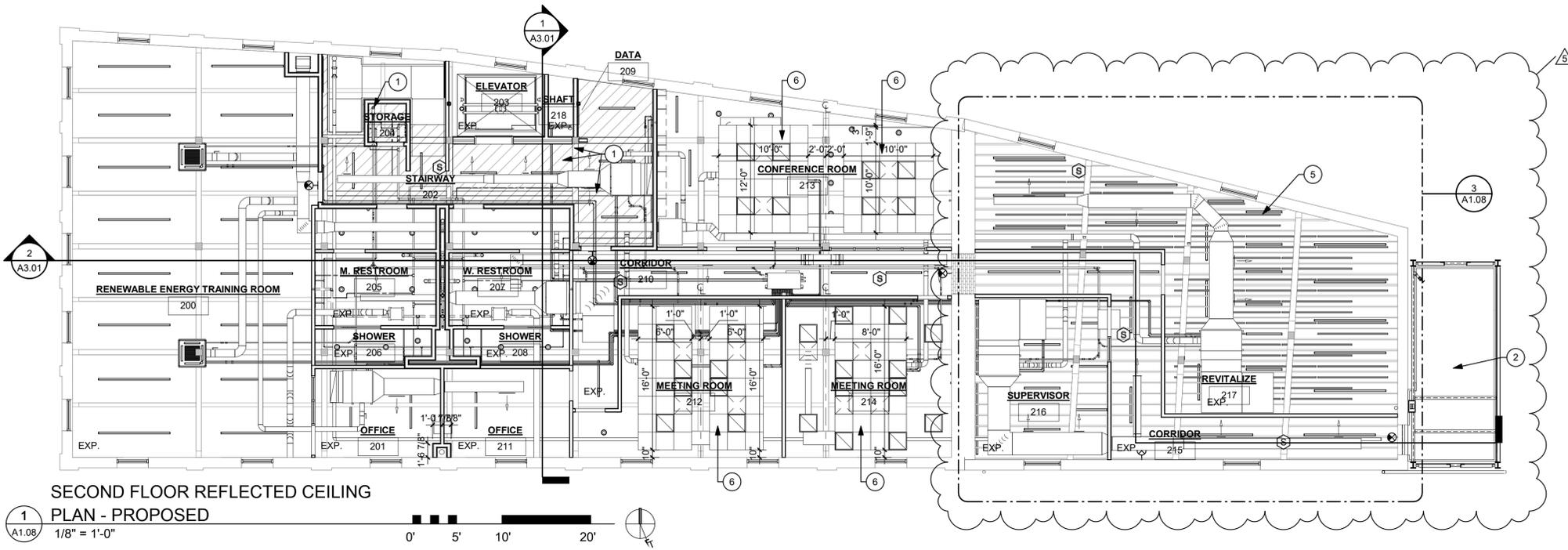
PHASING LEGEND

- PROJECT BOUNDARY
- - - EXISTING WALLS, DOORS, WINDOWS, AND MORE TO BE DEMOLISHED.
- EXISTING WALLS, DOORS, WINDOWS, AND MORE TO REMAIN.
- NEW WALLS, DOORS, WINDOWS, AND MORE.

REFLECTED CEILING PLAN LEGEND

NOTE: CONTRACTOR TO COORDINATE RCP BETWEEN ARCHITECTURAL AND MEP DRAWINGS

- 2'x2' LAY-IN CEILING TILE
- 2'x4' LAY-IN CEILING TILE
- 2'x4' LIGHT FIXTURE
- 2'x2' LIGHT FIXTURE
- 2'x4' EMERGENCY LIGHT FIXTURE
- 2'x2' EMERGENCY LIGHT FIXTURE
- EXIT SIGN
- SMOKE DETECTOR
- GYPSUM BOARD CEILING
- FIREPROOFING
- DIFFUSERS
- RETURN GRILL
- EXHAUST GRILL
- BULK HEAD
- WALLS BELOW
- RECESSED DOWN LIGHT
- O.T.A. OPEN TO ABOVE
- SPEAKER



1 SECOND FLOOR REFLECTED CEILING PLAN - PROPOSED
A1.08 1/8" = 1'-0"

| NO. | BY | DATE | DESCRIPTION |
|-----|-----|------------|-------------|
| 5 | ALB | 03/05/2026 | ADDENDUM 6 |

JUST TRANSITION CENTER
COALFIELD DEVELOPMENT
LOGAN, WV
1/13/2026
CONSTRUCTION DOCUMENTS

DRAWN: ALB DATE: 01/13/26
CHECKED: AJC DATE: 01/13/26
APPROVED: AJC DATE: 01/13/26

PROJECT No. T60-11108

SECOND FLOOR REFLECTED CEILING PLAN - PROPOSED

A1.08

DOOR, FRAME, & HARDWARE SCHEDULE

| # | DOOR | | | | | | FRAME | | | | ASSEMBLY | | REMARKS |
|-------|------|-------|--------|-----------|----------|---------|------------|-------------|----------------|--------------|-------------|--------------|-------------|
| | TYPE | WIDTH | HEIGHT | THICKNESS | MATERIAL | FINISH | FRAME TYPE | FRAME DEPTH | FRAME MATERIAL | FRAME FINISH | FIRE RATING | HARDWARE SET | |
| 102.2 | F | 5'-8" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 17 | ALTERNATE 2 |
| 102.3 | OH | 6'-0" | 7'-0" | 2" | ALUM. | ANOD. | 3 | 5 3/4" | ALUM. | ANOD. | | 02 | ALTERNATE 2 |
| 105 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 01 | ALTERNATE 2 |
| 106 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 01 | ALTERNATE 2 |
| 107 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 11 | ALTERNATE 2 |
| 108.1 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 25 | ALTERNATE 2 |
| 108.2 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 04 | ALTERNATE 2 |
| 108.3 | F | 2'-8" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 04 | ALTERNATE 2 |
| 108.4 | FG | 6'-0" | 7'-0" | 1 3/4" | ALUM. | ANOD. | 1 | 9 3/4" | ALUM. | ANOD. | | 22 | ALTERNATE 1 |
| 109 | F | 2'-8" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 04 | ALTERNATE 2 |
| 112.1 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 6 | 7" | H.M. | PTD | 90-MIN. | 12 | ALTERNATE 2 |
| 112.2 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 13 | ALTERNATE 2 |
| 113.1 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 24 | ALTERNATE 2 |
| 113.2 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 06 | ALTERNATE 2 |
| 113.3 | OH | 6'-0" | 7'-0" | 2" | ALUM. | ANOD. | 3 | 5 3/4" | ALUM. | ANOD. | | 02 | ALTERNATE 2 |
| 114 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 6 | 5 3/4" | H.M. | PTD | | 13 | ALTERNATE 2 |
| 115.1 | F | 3'-0" | 7'-0" | 1 3/4" | H.M. | PTD | 2 | 5 3/4" | H.M. | PTD | | 21 | ALTERNATE 2 |
| 115.2 | FG | 3'-0" | 7'-0" | 1 3/4" | ALUM. | ANOD. | 1 | 9 3/4" | ALUM. | ANOD. | | 21 | ALTERNATE 1 |
| 115.3 | OH | 6'-0" | 7'-0" | 2" | ALUM. | ANOD. | 3 | 5 3/4" | ALUM. | ANOD. | | 02 | ALTERNATE 2 |
| 117.1 | F | 3'-0" | 6'-8" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | 60-MIN. | 06 | ALTERNATE 2 |
| 117.2 | F | 3'-0" | 7'-0" | 1 3/4" | ALUM. | ANOD. | 2 | 5 3/4" | ALUM. | ANOD. | | 14 | ALTERNATE 1 |
| 200 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 15 | ALTERNATE 2 |
| 201 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 4 | 5 3/4" | H.M. | PTD | | 13 | ALTERNATE 2 |
| 202 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 20 | ALTERNATE 2 |
| 204 | F | 2'-8" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 04 | ALTERNATE 2 |
| 205 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 10 | ALTERNATE 2 |
| 207 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 09 | ALTERNATE 2 |
| 211 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 13 | ALTERNATE 2 |
| 212 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 08 | ALTERNATE 2 |
| 213 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 07 | ALTERNATE 2 |
| 214 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 08 | ALTERNATE 2 |
| 215 | F | 3'-0" | 7'-0" | 1 3/4" | H.M. | PTD | 2 | 5 3/4" | H.M. | PTD | | 16 | ALTERNATE 2 |
| 216 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 6 | 5 3/4" | H.M. | PTD | | 07 | ALTERNATE 2 |
| 217 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 19 | ALTERNATE 2 |
| 300.1 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 15 | ALTERNATE 2 |
| 300.2 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 23 | ALTERNATE 2 |
| 301 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 6 | 5 3/4" | H.M. | PTD | | 08 | ALTERNATE 2 |
| 302 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 6 | 5 3/4" | H.M. | PTD | | 08 | ALTERNATE 2 |
| 303 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 20 | ALTERNATE 2 |
| 305 | F | 2'-8" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 04 | ALTERNATE 2 |
| 306 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 01 | ALTERNATE 2 |
| 307 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 01 | ALTERNATE 2 |
| 310 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 04 | ALTERNATE 2 |
| 311.1 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 07 | ALTERNATE 2 |
| 311.2 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 08 | ALTERNATE 2 |
| 312 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 08 | ALTERNATE 2 |
| 313 | F | 3'-0" | 7'-0" | 1 3/4" | H.M. | PTD | 2 | 5 3/4" | H.M. | PTD | | 16 | ALTERNATE 2 |
| 314.1 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | | 18 | ALTERNATE 2 |
| 314.2 | FG | 3'-0" | 7'-0" | 1 3/4" | ALUM. | ANOD. | 7 | 4 1/2" | ALUM. | ANOD. | | 26 | ALTERNATE 2 |
| 400.1 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 15 | ALTERNATE 2 |
| 400.2 | F | 3'-0" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 15 | ALTERNATE 2 |
| 401 | F | 2'-8" | 7'-0" | 1 3/4" | WOOD | STAINED | 1 | 7" | H.M. | PTD | 90-MIN. | 03 | ALTERNATE 2 |
| 404 | F | 3'-0" | 6'-8" | 1 3/4" | WOOD | STAINED | 1 | 5 3/4" | H.M. | PTD | 60-MIN. | 05 | ALTERNATE 2 |
| 406 | F | 3'-0" | 7'-0" | 1 3/4" | H.M. | PTD | 2 | 5 3/4" | H.M. | PTD | | 16 | ALTERNATE 2 |

WINDOW SCHEDULE

| WINDOW TYPE | MATERIAL | DETAIL |
|-------------|----------|-------------------|
| ALTERNATE 2 | A | ALUM. #10 / A6.03 |
| ALTERNATE 2 | B | ALUM. #10 / A6.03 |
| NOT USED | C | |
| NOT USED | D | |
| ALTERNATE 1 | E | ALUM. #9 / A6.03 |
| ALTERNATE 1 | F | ALUM. #9 / A6.03 |
| ALTERNATE 1 | G | ALUM. #9 / A6.03 |
| ALTERNATE 1 | H | ALUM. #9 / A6.03 |
| ALTERNATE 1 | J | ALUM. #9 / A6.03 |
| ALTERNATE 1 | K | ALUM. #9 / A6.03 |
| ALTERNATE 1 | L | ALUM. #9 / A6.03 |
| ALTERNATE 1 | M | ALUM. #9 / A6.03 |
| ALTERNATE 1 | N | ALUM. #9 / A6.03 |
| ALTERNATE 1 | P | ALUM. #9 / A6.03 |
| ALTERNATE 1 | Q | ALUM. #9 / A6.03 |
| ALTERNATE 1 | R | ALUM. #9 / A6.03 |
| ALTERNATE 1 | S | ALUM. #9 / A6.03 |

THRASHER
 600 WHITE OAKS BLVD.
 P.O. BOX 940
 BRIDGEPORT, WV 26330
 P (304) 624-4108
 F (304) 624-7831
 www.thrashergroup.com

THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF THE THRASHER GROUP, INC. REPRODUCTION OF THESE DOCUMENTS IN WHOLE OR IN PART FOR ANY REASON WITHOUT PRIOR WRITTEN PERMISSION IS STRICTLY PROHIBITED.
 COPYRIGHT © 2026 THE THRASHER GROUP, INC.



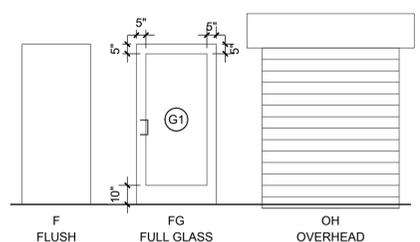
GLAZING TYPES LEGEND:

G1.) CLEAR FULLY TEMPERED FLOAT GLASS.
 G2.) TINTED INSULATING GLASS.
 G3.) TINTED INSULATING SPANDREL GLASS.

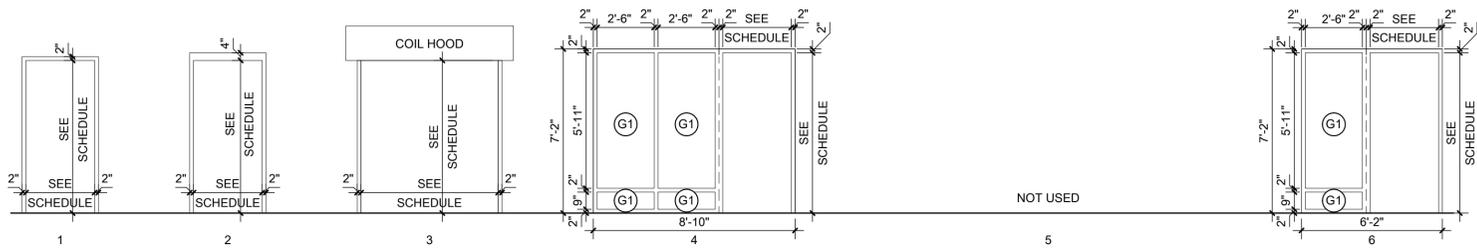
GLAZING GENERAL NOTE:

1.) SEE SPECIFICATION SECTION 088000 FOR ADDITIONAL INFORMATION ON GLAZING TYPES.

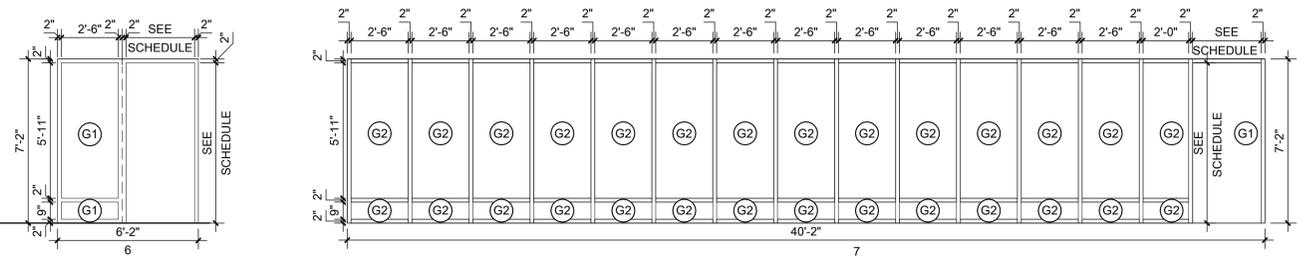
| NO. | BY | DATE | DESCRIPTION |
|-----|-----|------------|-------------|
| 5 | ALB | 03/05/2026 | ADDENDUM 6 |



DOOR TYPE LEGEND
 1/4" = 1'-0"



FRAME TYPE LEGEND
 1/4" = 1'-0"



JUST TRANSITION CENTER
 COALFIELD DEVELOPMENT
 LOGAN, WV
 1/13/2026
 CONSTRUCTION DOCUMENTS

DRAWN: ALB DATE: 01/13/26
 CHECKED: AJC DATE: 01/13/26
 APPROVED: AJC DATE: 01/13/26
 PROJECT No. T60-11108

DOOR AND WINDOW SCHEDULES - ALTERNATE 1 & 2
 SHEET No.

A6.01

ROOM FINISH SCHEDULE

| ROOM # | ROOM NAME | FLOOR FINISH | BASE | WALL FINISH | | | | CEILING HEIGHT | CEILING FINISH | REMARKS |
|--------|---|--------------|------|-------------|------|-------|------|----------------|----------------|--|
| | | | | NORTH | EAST | SOUTH | WEST | | | |
| 100 | MOUNTAIN MINDFUL | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 101 | STORAGE | FL1 | WB1 | N/A | N/A | N/A | N/A | N/A | EXISTING | DO NOT PAINT EXISTING CEILING. |
| 102 | STORAGE / HOLDING | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 103 | TOOLS | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 104 | STORAGE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 105 | RESTROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 106 | RESTROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 107 | KITCHENETTE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 108 | STAIRWAY | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 109 | STORAGE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 110 | LOBBY | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 111 | ELEVATOR | N/A | N/A | N/A | N/A | N/A | N/A | N/A | EXP. | SHAFT TO REMAIN FULLY UNPAINTED. |
| 112 | BUILDING FACILITIES MANAGER | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 113 | CUTTING CENTER | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 114 | SUPERVISOR | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 115 | PRODUCTION SPACE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 116 | SHAFT | N/A | N/A | N/A | N/A | N/A | N/A | N/A | EXP. | SHAFT TO REMAIN FULLY UNPAINTED. |
| 117 | FIRE PUMP ROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 200 | RENEWABLE ENERGY TRAINING ROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 201 | OFFICE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 202 | STAIRWAY | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 203 | ELEVATOR | N/A | N/A | N/A | N/A | N/A | N/A | N/A | EXP. | SHAFT TO REMAIN FULLY UNPAINTED. |
| 204 | STORAGE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 205 | M. RESTROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 206 | SHOWER | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 207 | W. RESTROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 208 | SHOWER | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 209 | DATA | FL1 | WB1 | PT1 | N/A | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 210 | CORRIDOR | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 211 | OFFICE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 212 | MEETING ROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | 7'-6" | EXP. | CEILING TO BE CLOUD CONSTRUCTION. |
| 213 | CONFERENCE ROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | 7'-6" | EXP. | CEILING TO BE CLOUD CONSTRUCTION. |
| 214 | MEETING ROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | 7'-6" | EXP. | CEILING TO BE CLOUD CONSTRUCTION. |
| 215 | CORRIDOR | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 216 | SUPERVISOR | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 217 | REVITALIZE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | CEILING TO RECEIVE NEW ACOUSTICAL BAFFLES. |
| 218 | SHAFT | N/A | N/A | N/A | N/A | N/A | N/A | N/A | EXP. | SHAFT TO REMAIN FULLY UNPAINTED. |
| 300 | GENERATION WV TECHNOLOGY JOBS TRAINING CENTER | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 301 | CONCENTRATION POD | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 302 | CONCENTRATION POD | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 303 | STAIRWAY | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 304 | ELEVATOR | N/A | N/A | N/A | N/A | N/A | N/A | N/A | EXP. | SHAFT TO REMAIN FULLY UNPAINTED. |
| 305 | STORAGE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 306 | RESTROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 307 | RESTROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 308 | DATA | FL1 | WB1 | PT1 | N/A | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 309 | CORRIDOR | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 310 | STORAGE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 311 | CONFERENCE ROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 312 | MEETING ROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 313 | CORRIDOR | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 314 | REUSE CORRIDOR E-WASTE REPAIR AND RECYCLING WORKSPACE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 315 | SHAFT | N/A | N/A | N/A | N/A | N/A | N/A | N/A | EXP. | SHAFT TO REMAIN FULLY UNPAINTED. |
| 400 | STAIRWAY | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 401 | STORAGE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 402 | ELEVATOR | N/A | N/A | N/A | N/A | N/A | N/A | N/A | EXP. | SHAFT TO REMAIN FULLY UNPAINTED. |
| 403 | SHAFT | N/A | N/A | N/A | N/A | N/A | N/A | N/A | EXP. | SHAFT TO REMAIN FULLY UNPAINTED. |
| 404 | ELECTRICAL ROOM | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | TO DECK | SPRAY FR. | |
| 405 | SHELL SPACE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |
| 406 | SHELL SPACE | FL1 | WB1 | PT1 | PT1 | PT1 | PT1 | N/A | EXP. | |

A.C.T. SYSTEM.
ALTERNATE 2

A.C.T. SYSTEM.
ALTERNATE 2

A.C.T. SYSTEM.
ALTERNATE 2

| NEW FINISH NOTES | |
|------------------|---------------------|
| NOTE # | DESCRIPTION |
| FL1 | NEW HARDWOOD FLOORS |
| PT1 | PAINT 1 |
| WB1 | WALL BASE 1 |

NEW FINISH LEGEND



GENERAL FINISH NOTES

- ALL FINISH WORK SHALL BE COMPLETED ONLY AFTER REMEDIATION OF STRUCTURAL DEFECTS AND DEFICIENCIES. SEE STRUCTURAL DRAWINGS.
- ALL EXISTING FLOORS WILL BE PATCHED AND REFURBISHED AS NECESSARY TO CREATE SMOOTH AND LEVEL FINISH. WOOD SHEATHING USED AS FLOOR FINISH SHALL BE REPLACED WITH A DIFFERENT FINISH TO MATCH SURROUNDING EXISTING FINISH.
- UNLESS OTHERWISE NOTED, ALL EXPOSED FACES OF STRUCTURE AND UNDERSIDE OF ALL FLOORS TO RECEIVE PAINT. ALL GYP CEILINGS TO RECEIVE PAINT.
- UNLESS OTHERWISE NOTED, ALL EXISTING BRICK MASONRY WALLS TO REMAIN SHALL BE PATCHED/RESTORED IF NECESSARY AND LEFT EXPOSED. ONLY PAINT EXISTING MASONRY WALLS THAT HAVE PREVIOUSLY RECEIVED PAINT, LEAVE UNPAINTED MASONRY UNPAINTED.
- PAINT ALL CEILINGS.
- ALL NEW WALLS GET PAINT.

THRASHER

600 WHITE OAKS BLVD.
P.O. BOX 940
BRIDGEPORT, WV 26330

P (304) 624-4108
F (304) 624-7831

www.thrashergroup.com

THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF THE THRASHER GROUP, INC. REPRODUCTION OF THESE DOCUMENTS IN WHOLE, OR IN PART FOR ANY REASON WITHOUT PRIOR WRITTEN PERMISSION IS STRICTLY PROHIBITED.

COPYRIGHT © 2026
THE THRASHER GROUP, INC.



| NO. | BY | DATE | DESCRIPTION |
|-----|-----|------------|-------------|
| 4 | ALB | 02/24/2026 | ADDENDUM 4 |
| 5 | ALB | 03/05/2026 | ADDENDUM 6 |

JUST TRANSITION CENTER

COALFIELD DEVELOPMENT
LOGAN, WV
1/13/2026

CONSTRUCTION DOCUMENTS

DRAWN: ALB DATE: 01/13/26
CHECKED: AJC DATE: 01/13/26
APPROVED: AJC DATE: 01/13/26

PROJECT No. T60-11108

FINISH SCHEDULE
-ALTERNATE 2

SHEET No.

A7.01