

**COALFIELD DEVELOPMENT CORPORATION
CABELL COUNTY, WEST VIRGINIA
JUST TRANSITION CENTER
ADDENDUM # 3
February 18, 2026
THRASHER PROJECT # T60-11108**

TO WHOM IT MAY CONCERN:

A Pre-Bid Conference was held on Tuesday, February 3, 2026, on the above-referenced project. The following are clarifications and responses to questions posed by contractors for the above-referenced project.

1. GENERAL

- 1. THE BID FORM HAS BEEN REVISED. YOU MUST USE THE REVISED BID FORM WHEN PREPARING YOUR BID PACKAGE FOR THIS PROJECT.**
- 2. PLEASE REFER TO CLERIFICATIONS FOR FURTHER INFORMATION OF CHANGES WITHIN BID FORM**
3. Alliance Elevator and Canton Elevator are approved manufacturers.
4. For bidding purposes, all hardwood floors and subfloors shall be replaced.

2. SPECIFICATIONS

Index has been revised
REVISED Bid Form
REVISED 012100 Allowances, 012300 Alternates, 012200 Unit Prices
ADDED 040120.63 Brick Masonry Repair, 096400 Wood Flooring

3. DRAWINGS

S105R1

4. QUESTIONS AND RESPONSES

1. QUESTION

Respectfully request time extension for several reasons, Need roof re-design drawings, need access to the building for engineers and specialists to price structural issues

RESPONSE

Bid date is pushed back to March 3, 2026, at 3:30 p.m.

2. QUESTION

Is rubber tracked equipment allow on the pavement and is dumpsters acceptable? Section 15000, paragraph 1.17 And it makes reference construction vehicles are not allowed to park on pavement, Is this correct?

RESPONSE

Asphalt and concrete shall meet or exceed existing conditions at the completion of construction.

3. QUESTION

Section 15000 paragraph 1.23 has construction fence required, if this correct can you please provide locations and limits.

RESPONSE

Construction fence is required around the perimeter of the building.

4. QUESTION

Section 15000 Paragraph 1.31 makes reference to mold remediation is required by the contractor, if so , what kind of testing is required and at what duration?

RESPONSE

Owner will contract for mold assessment and remediation services separately, once the roof and structure have been stabilized.

5. QUESTION

Referring to Plan Sheets FP3.01 & E7.00 Electrical Riser Diagram Note T; Provide 277/480, 3-phase, staioning diesel generator, sized per fire pump manufacturer specifications. To figure how much cutting, busting, underground conduit, backfilling & patching, where shall the generator be installed?

Can a concrete housekeeping pad detailed be provided?

Could a trenching & backfilling detail be provided?

RESPONSE

See sheet E2.00 for location. The concrete pad details will need to be provided by the generator manufacturer.

6. QUESTION

Referring to Plan Sheet FP1.01 Flow Test Data

It was mentioned the Budget & Design was conducted nearly (5) five years ago during the Prebid Meeting. Has the flow test been conducted since then and if so, could the data be provided?

RESPONSE

Flow test is included in this addendum

7. QUESTION

Referring to Specification Section 083113 – Access Doors and Frames, Sheet A0.00 & A6.01.

What sizes are the (5) five each Fire Rated Access Doors & Frames in the Basement?

Could not locate the need for any additional access doors & frames & fire rated access doors and frames. Confirm the (5) five fire rated access doors and frames in the basement is the limits of all access doors, frames, and fire rated access doors and frames.

To avoid cost, could specification 3.2 FIELD QUALITY CONTROL be waived?

RESPONSE

(5) 24x36 access doors and frames in the basement. No, we cannot waive the field quality control.

8. QUESTION

Please confirm that Builders' risk is required to be purchased and held by the awarded general contractor. With the construction type and condition of the current building, this Builders Risk policy may be more cost efficient if held by the owner.

RESPONSE

The owner will carry the Builders Risk policy

9. QUESTION

Detail 13/A4.02 shows a counter under the floating shelves, but there is not detail for the counter support. Are there cabinets in this area or undermount shelf wall brackets?

RESPONSE

Provide RAKKS countertop support brackets at 48" O.C. max.

10. QUESTION

Please confirm the location of the millwork shown in detail 6/A502 on the floor plans.

RESPONSE

Note #5 on sheet A1.03

11. QUESTION

Please confirm Detail 6/S-500 locations to be installed on the plans. Are we to assume installing these are every column to beam connection on the roof structural?

RESPONSE

At every column to beam connection at the roof at the rear addition.

12. QUESTION

Fire rated blocking is shown for all locations, are fire rated framing studs to be used for all walls as well or just blocking. It is not detailed on the wall cut sections.

RESPONSE

Fire rated blocking is required for all new walls to receive wall-mounted items. Fire rated framing studs are required in fire rated assemblies.

13. QUESTION

Is there a specification for the hardwood floor restoration available?

RESPONSE

All hardwood floor and subfloors shall be replaced. Hardwood floor spec is included in this addendum.

14. QUESTION

Please clarify the painting allowances and general notes. General notes show painting of all walls except for one noted section, but we also have allowances for painting masonry.

RESPONSE

Allowance has been deleted in the revised spec included in this addendum.

15. QUESTION

What are the structural repair plans for the collapsed roof section? Is this to be delegated design, or will there be plans issued for bidding?

RESPONSE

Drawings are included in this addendum

16. QUESTION

During the prebid walk there are large separations in the masonry between the addition and original structure. Are repairs to this masonry planned to be included in this bid? Has this connection been looked at by the engineer of record and is acceptable?

RESPONSE

Yes, masonry repairs will be completed as part of Alternate #1. Plan for using a horizontal helibar at 16" oc vertical in the mortar joints with backer rod and sealant on both exterior and interior faces of the masonry.

17. QUESTION

During the prebid walk there are more noticeable damaged/bowed columns in the addition that will need repair. Is this to be included in the base bid or will this be handled in a different way after award.

RESPONSE

Replace all bowed columns in the rear addition as part of the base bid. Base bid shall include replacement of 50% of rear addition columns.

18. QUESTION

For the structural sistered roof joists, will the existing bridging be required to be replaced after the structural work is completed?

RESPONSE

Yes, existing bridging can be reused or new installed at existing locations at contractors option.

19. QUESTION

During the prebid walk it was noticed that detail 1/S-500 will not work for some of the damaged existing columns in the basement. The existing column connection does not exist as shown in the detail. Will a new connection be designed by the EOR or will this be delegated design.?

RESPONSE

New connection will be designed by EOR once the structure is stabilized and all conditions can be assessed. For bid pricing, use current detail.

20. QUESTION

The exterior ramps are not shown in great detail on the drawings, are they steel ramps or cast in place concrete? Can a more detailed cut section be provided for their foundation/construction?

RESPONSE

Cast in place concrete.

21. QUESTION

During the prebid walk the existing conditions of the floor are in worse shape than expected. What level condition is going to be required of the existing timber floor after the basement structural work is complete? Some adjustment and leveling can be reached with the structural repairs but one column line has over 12" of drop in the surrounding flooring alone.

RESPONSE

Floors should be leveled to within +/- 1 inch.

22. QUESTION

The LVT shown to be installed over the existing floors we do not believe will be a good choice. There is no vapor barrier shown to be installed to protect the LVT and due to the existing wood floor conditions, we are unsure of manufacture warranting the install of this product. Could an epoxy or other style of flooring be looked at for these areas?

RESPONSE

All hardwood floor and subfloors shall be replaced.

23. QUESTION

Can we get clarification on the generator specifications? Below are the notes on the drawings that contradict:

Drawing E700 doesn't give a size to the generator, just that it needs sized to the fire pump at 277/480V 3 Phase

However, on drawing FP 5.01 it shows the fire pump motors (that may change) at 120/208V 3 Phase.

RESPONSE

The generator shall be sized for the fire pump manufacturer specifications and the voltage shall correspond to the manufacturers design. The fire pump power disconnect is proposed to be 480V, 3 phase and the disconnect is shown on the 4th floor on sheet E2.02. The fire pump circuit shall be installed per code.

24. QUESTION

The legend sheet says that data drops are to have an empty conduit. Also, there is no detail for any data rack or telecom room. Does this mean that the only thing required for Tele/data are the boxes and conduit stub-ups?

RESPONSE

The data equipment will be supplied and installed by others.

25. QUESTION

Would it possible to add a manufacturer such as Alliance Elevator, they have an MRL Hydraulic elevator. Also, Canton Elevator Co. They are none proprietary equipment companies.

RESPONSE

Alliance Elevator and Canton Elevator are approved manufacturers.

26. QUESTION

In the E4.00 through E4.02 drawings, there are card reader symbols that keynotes describe them as entrance card reader/keypad and optional restricted entrance card reader/keypad. There are no other notes or details for these doors. Is the EC responsible for the access control system or only getting a circuit to each door? If the EC is responsible, can we get details for the forementioned doors?

RESPONSE

Delete reference to optional card readers/keypads.

27. QUESTION

Are all utility connection cost/fees being covered by the owner?

RESPONSE

Permanent connections will be covered by the owner. Usage during construction is the responsibility of the Contractor.

28. QUESTION

It was stated during the prebid that a flow test has been performed, can that information be provided ?

RESPONSE

Flow test is included in this addendum

29. QUESTION

Is the thickness of the basement concrete slab known for shoring design?

RESPONSE

Existing thickness is unknown

30. QUESTION

Are we to provide a guard rail and grab rail on both sides of the interior stair as drawn?

RESPONSE

Grab rail only at wall locations.

31. QUESTION

Do you intend for all railings to be aluminum? Guard rail, grab rail and wall rails at interior ramp or can the interior ramp wall rail be steel pipe?

RESPONSE

Steel pipe is acceptable for interior applications.

32. QUESTION

Are all the exterior ramps slab on grade or are they to be grating on structural support framing?

RESPONSE

Cast in place concrete.

33. QUESTION

Do the stringers need to be tube steel stringers or can channel be used?

RESPONSE

Channel is acceptable.

34. QUESTION

Can the two TS 4 x 4 x 5/16 columns be supplied in one piece or do they need to be spliced? How are they to be "braced" at each floor. Please provide a detail.

RESPONSE

Coordinate the length of the steel columns and bracing details with the steel fabricator. Provide details to be reviewed during submittal review.

35. QUESTION

From what we understand, this center will host classes that will allow community members to learn career skills. On the Systems drawing for the upper levels (E4.01), we note that there are rooms designated as training classrooms. The WV State Fire Code currently requires that educational facilities must have a fire alarm system with voice evacuation.

Is a fire alarm system with voice evacuation required for this project?

RESPONSE

A voice evacuation fire alarm system is not required.

36. QUESTION

On the Systems drawings (E4.00 and E4.01), System Keynote #2 specifies that some of the card readers/keypads are Optional. Please confirm that pricing for the Optional card readers/keypads should be submitted as an Add Alternate Quote, with the Entrance Card Readers/Keypads (per System Keynote #1) as the Base Bid Quote.

RESPONSE

Delete reference to optional card readers/keypads.

37. QUESTION

Can you supply where you want the different types of fire retardant used or some type of guide. Two difference types are in the specification.

RESPONSE

There is 1 type - reference specification section 078123 Intumescent Fireproofing

38. QUESTION

Has the building been tested for mold or are you assuming the entire basement area has mold damage, with the new roof collapsing and new water intrusion should we assume more needs to be done?

RESPONSE

Owner will contract for mold assessment and remediation services separately, once the roof and structure have been stabilized.

39. QUESTION

Section 78123 -1.3.G is requiring inspections, Does this need to be some type of specialist or is this something you will inspect?

RESPONSE

Yes, spray-applied fire resistant materials require a special inspection mandated by the IBC.

40. QUESTION

Will joist hangers/supports be required for the existing joist?



RESPONSE

Supports for any joists that appear to be pulling out from the masonry will be determined on a case by case basis during the construction, once the building structure has been stabilized.

41. QUESTION

Will expansion control and caulking be required from ground level to top of parapet on each elevation to tend to the existing gap?



RESPONSE

Masonry repairs will be completed as part of Alternate #1. Plan for using a horizontal helibar at 16" oc vertical in the mortar joints with backer rod and sealant on both exterior and interior faces of the masonry.

42. QUESTION

Referring to Temporary Facilities & Controls 15000_1.3 USE CHARGES A. General: Installation and removal of and use charges for temporary facilities shall be included in the Contract Sum unless otherwise indicated. Allow other entities to use temporary services and facilities without cost, including, but not limited to, Architect, testing agencies, and authorities having jurisdiction.

Who is responsible for the electrical usages throughout the duration of the renovations? If the Contractor is responsible, could the last 12 months of the facilities electric bill be provided to estimate the usage during renovations? Will the existing account remain in Coalfield Development name and address?

Who is responsible for the water usage throughout the duration of the renovations? Will the existing account remain in Coalfield Development name and address?

RESPONSE

The Contractor is responsible for electrical and water usage throughout the duration of the renovation. There is an account established under Coalfield Development, however service has been temporarily disconnected to the condition of the building.

43. QUESTION

Referring to Sheet E2.02 Electrical Room Key Notes # 10. New 277/480V service by Power Company.

1. Has a work order been implemented by the Owner/Engineer with the Local Utilities, if so, can this work order be provided?
2. Who is responsible for the electrical service fees?
3. The Power Company will not provide a proposal to General Contractors during the bidding phase. They will only provide a cost proposal after a work order has been established. Will an Allowance be necessary to cover the cost of the new Electrical Service?

RESPONSE

The new service design has been discussed with the power company but a new work order has not been established. The owner will cover the cost of the new electrical service. Contractor is responsible for usage during the duration of the renovation.

44. QUESTION

This project is being Federally Funded. Have the funds been appropriated and will any future Government Shutdowns delay processing on Pay Applications?

RESPONSE

The owner cannot predict implications associated with hypothetical scenarios around potential government shutdowns. The project has an executed funding agreement in place with the US Economic Development Administration.

45. QUESTION

This project is Federally Funded. Since the work by the Design Team and original budget was provided (5) five years ago, could the budget be provided in subsequent Addendum?

RESPONSE

It was misstated at the pre-construction that the design and budget were completed five years ago; the correct timeframe is two years. The budget will not be provided.

46. QUESTION

Should hazardous materials be encountered during construction, who is responsible for testing the suspect materials?

RESPONSE

Asbestos report was included in addendum 2.

47. QUESTION

Will mold remediation be provided by Coalfield Development prior to starting the renovation project by the Contractor?

RESPONSE

Owner will contract for mold assessment and remediation services separately, once the roof and structure have been stabilized.

48. QUESTION

Should the Contractor be required to provide mold remediation, could the limits of the mold remediation and a Specification be provided?

RESPONSE

Contractor is not required to provide mold remediation.

49. QUESTION

Will Termite Controls be performed by Coalfield Development?

RESPONSE

Owner will contract for termite assessment and remediation services separately, once the roof and structure have been stabilized.

50. QUESTION

There is evidence on termite damage throughout the facility. Some of the termite damages are within the beams that will need to be lifted to level the floor.
Could the limits of the termite damage be identified?

RESPONSE

Owner will contract for termite assessment and remediation services separately, once the roof and structure have been stabilized.

51. QUESTION

Insurance requirements did not identify who is to carry Builder's Risk Insurance.
Will Coalfield Development be carrying the additional Builder's Risk Insurance for the contract amount?

RESPONSE

The owner will carry the Builder's Risk Insurance

52. QUESTION

Referring to The Thrasher Group, Inc. Supplementary General Conditions to the AIA Document A201-2017 General Conditions of the Contract for Construction
11.2.4 PROPERTY INSURANCE *add the following:*

Property insurance to the full insurable value of above ground structures in accordance with Article 11.2 of the General Conditions will be provided by the CONTRACTOR and will be

in the form of Completed Value. This insurance will be subject to a deductible amount of \$1,000.

Could the appraised value of the property be provided so we can obtain a quote to insure the structure? Or will Coalfield Development be carrying this insurance requirement?

RESPONSE

Owner will carry the insurance.

53. QUESTION

Referring to The Exhibit - Project Sign Specifications identifies two EDA Sign types. How many EDA Signs are required?

RESPONSE

Federal regulations require a minimum of one sign in a conspicuous place that is clearly visible to the public during the construction.

54. QUESTION

Referring to Allowance No. 01, 02, & 03 all include Masonry Restoration. Will a Masonry Restoration specification be provided?

RESPONSE

Specification has been included in this addendum.

55. QUESTION

Referring to Allowance No. 01, 02, & 03 all include Masonry Restoration. To provide a solid bid for the Masonry Restoration, could the limits of the Masonry Restoration be provided on Sheets A2.01 & A2.02?

RESPONSE

The masonry restoration allowance with associated unit cost, represents the only quantifiable method for establishing a measurable cost basis for this scope of work.

56. QUESTION

Referring to Allowance No. 04 indicates to provide a cost to repair and/or replace 3,735 SF of Hardwood Flooring. Confirm this is the limits of Hardwood Flooring to be calculated in Base Bid as an Allowance.

RESPONSE

Allowance spec has been revised to 12,000 SF included in this addendum.

57. QUESTION

Allowance No. 06 indicates to provide a cost of \$5,000.00 for painting existing masonry walls. Confirm this is the limit on costs of painting existing masonry walls to be calculated in Base Bid as an Allowance.

RESPONSE

Allowance has been deleting in the revised spec included in this addendum. Paint per drawings and finish schedule on A7.01.

58. QUESTION

Referring to Sheet S-001 & Sheet S-101 Shoring and Column Repairs; Note 3. Contractor shall provide a shoring design prepared and sealed by a West Virginia Professional Engineer for review prior to beginning construction.

By having the Structure Engineer of Record provide the shoring design we improve our hands on review time and speed up the installation of the shoring. Can the Structural Engineer of Record provide the shoring design and if so, could an Allowance be included in the bid for engineered shoring design?

RESPONSE

The EOR will not be providing the shoring design. Below is contact information for an engineer that can be contacted about shoring design: Joshua Koerber, PE

The Gateway Engineers, Inc.

jkoerber@gatewayengineers.com

100 McMorris Rd

Pittsburgh, PA 15205

412 667-9130 (CELL)

59. QUESTION

Referring to Sheet S-101 First Floor Framing Plan.

Will existing substrates need to be removed, and new substrates be installed to anchor/carry the steps from the proposed New Stair Assembly?

RESPONSE

Contractor responsible for coordinating the work in the field.

60. QUESTION

Referring to Sheet S-101 First Floor Framing Plan

Confirm the call out for 5-1/2"w x 11-1/4"d & 11-1/8"w x 13"d beams are existing and identified for informational purposes only.

RESPONSE

Existing and for informational purposes only.

61. QUESTION

Referring to Sheet S-102 Second Floor Framing Plan

Confirm the call out 5-3/8"w x 11"d & 7"w x 15"d beams in the Main Building are existing and identified for informational purposes only.

RESPONSE

Existing and for information purposes only.

62. QUESTION

Referring to Sheet S-102 Second Floor Framing Plan
Confirm the call out 9-1/2" w x 11-1/2" d beams and 2" w x 12" d joists 16" O.C. in the Rear Addition are existing and identified for informational purposes only.

RESPONSE

Existing and for information purposes only.

63. QUESTION

Referring to Sheet S-103 Third Floor Framing Plan
Confirm the call out 5-1/4" w x 11" d & 7" w x 13" d beams in the Main Building are existing and identified for informational purposes only.

RESPONSE

Existing and for information purposes only.

64. QUESTION

Referring to Sheet S-103 Third Floor Framing Plan
Confirm the call out 8" x 9-1/2" columns, 8" w x 11-1/2" d beams and 1.5" w x 9.5" d joists on 14.5" O.C. in the Rear Addition are existing and identified for informational purposes only.

RESPONSE

Existing and for informational purposes only.

65. QUESTION

Referring to Sheets S-104 Forth Floor Framing Plan
Confirm the call out 5-1/2" w x 11" d & 7" w x 11" d beams in the Main Building are existing and identified for informational purposes only.

RESPONSE

Existing and for informational purposes only.

66. QUESTION

Referring to Sheets S-104 Forth Floor Framing Plan
Confirm the call out 10" w x 11-3/4" d beams and 2" w x 9-3/4" d joists on 14.5" O.C. in the Rear Addition are existing and identified for informational purposes only.

RESPONSE

Existing and for informational purposes only.

67. QUESTION

Referring to Sheet S-105 Note 04 All rear addition roof joist shall be reinforced with new 2x6 SPF No. 1/No. 2 joists. Sister to existing joist and attach with construction adhesive and #12 wood screws @ 12" OC, staggered top and bottom.
Will the reinforced 2x6 need to be pocketed into the existing masonry or will a framing hanger be required at the masonry wall?

RESPONSE

No, neither is required.

68. QUESTION

Referring to Sheet S-105 identifies a tagged and hatched note to sister all roof joist w/2x10 SPF No. 01/No. 2 between columns C. 5-8 & D. 5-8.

Is this the Limits of sistering the roof joists or was the intent to sister all roof joist in Main Building?

RESPONSE

Sister existing roof joists between column lines 5 and 7 between column lines C and D. Also, sister all roof joists below the RTU that is located in proximity to column C3.

69. QUESTION

Referring to Sheet S-105 Roof Framing Plan

Confirm the call out 7" x 7" columns, 5-1/4" w x 11-1/4" d & 2'2 x 9-1/4" d joist on 16" O.C. in the Main Building are existing and identified for informational purposes only.

RESPONSE

Existing and for informational purposes only.

70. QUESTION

Referring to Sheet S-105 Roof Framing Plan

Confirm the call out 6" x 6" columns, 6" w x 7-1/2" d beams and 1-5/8" w x 5-1/2" d joists on 24" O.C. in the Rear Addition are existing and identified for informational purposes only.

RESPONSE

Existing and for informational purposes only.

71. QUESTION

Referring to Sheet S-105 identifies a knee wall bearing on 6" w x 7-1/2" d wood beam.

Are the knee walls existing or new construction?

RESPONSE

The knee walls are existing.

72. QUESTION

Referring to Sheet S-105 Note 05 Install new columns in rear addition as shown.

The locations of the column appear to be vague. Appears to be (6) six columns. Is this correct?

RESPONSE

Delete note 5 on Sheet S-105. There are no new columns in the rear addition.

73. QUESTION

Referring to Sheet S-105 Note 08 Remove and replace any damaged wood joists, beams, or roof plank. Replacement materials to be same as the existing.

The quantity of this Scope of Work is not identified and thereby unknown. Will locations be provided or an Allowance be included?

RESPONSE

An allowance has been added to the revised spec included in this addendum.

74. QUESTION

Referring to Sheet S-105 Note 09 Sister new joists and beams in original building to existing framing as indicated. Attach with construction adhesive and #12 wood screw @ 12" OC, staggered top and bottom.

Column Line A-B, 1-8 is not identified to receive this work. Columns C & D is tagged to receive this work and the joist spanning between C to B, C to D and D to E shall be sistered. Confirm this is the intent for the Scope of Work.

RESPONSE

Sister joists under the RTU that is located in proximity to column C3 and in the area that is hatched under the heat pumps.

75. QUESTION

Referring to Sheet S-105 Note 09 Sister new joists and beams in original building to existing framing as indicated. Attach with construction adhesive and #12 wood screw @ 12" OC, staggered top and bottom.

Will the reinforced 2x6 need to be pocketed into the existing masonry or will framing hangers be required at the masonry wall?

RESPONSE

No, neither is required.

76. QUESTION

Sheet S-105 Roof Framing Plan

A partition of the roof and framing has collapsed. Will a Plan Sheet be provided?

RESPONSE

Drawings are included in this addendum.

77. QUESTION

Sheet S-105 Roof Framing Plan

A partition of the roof and framing has collapsed. Since the roof collapsed (5) five years after the Design Drawing and bidding directives, will additional time to complete the project be added?

RESPONSE

The Owner and Architect will coordinate with the Contractor to establish an appropriate schedule adjustment should additional time be justified based on project conditions.

78. QUESTION

Referring to Sheets S-100, S-101, S-102, S-103, S-104 & S-105 indicates to brace the HSS Column at each floor level.
Could a bracing detail be provided for bidding purposes?

RESPONSE

Provide double clip angles with lag bolts. Detail to be provided by steel fabricator and reviewed by structural engineer.

79. QUESTION

Referring to Sheets S-500, detail 6/S-500 Roof Beam Details and referring to Sheets S-104 & S-105. Sheets S-104 & S-105 does not appear to be tagged with detail 6/S-500.
Where are the limits for providing the room beam bracing?

RESPONSE

This detail applies to the beams/columns at the rear addition only.

80. QUESTION

Referring to Allowance No. 06 indicates to provide a cost of \$5,000.00 for painting existing masonry walls. General Notes on Floor Plan Sheets A1.00, A1.01, A1.02, A1.03, A1.04 and General Notes on Reflected Ceiling Plan Sheets A1.02, A1.08, A1.09, A1.10, indicates to prepare all new and existing wall surfaces to receive scheduled finish.
This General Note contradicts the Allowance description. Could clarification be given?

RESPONSE

Allowance has been deleted in the revised spec included in this addendum. Paint per drawings and finish schedule on A7.01.

81. QUESTION

Referring to Sheet A5.02, detail 8A5.02; Small Exterior Sign.
Will a Specification be provided for the Exterior Signage?

RESPONSE

An allowance for the sign has been included in the revised spec in this addendum.

82. QUESTION

Referring to Sheet A4.02 & A5.02; New Floating Shelves.
Will a Specification be provided for the New Floating Shelves?

RESPONSE

Basis of Design: 2 inch thick walnut. VEVOR Floating Shelf Bracket 230 lbs/104 kg weight capacity, Heavy Duty Hidden Shelf Brackets support, wall mounting invisible

83. QUESTION

Referring to Allowance No. 01 indicates to install Acoustical Ceiling Clouds in Conference Room 213 & meeting Rooms 212 & 215. The Finish Schedule on Sheet A7.01 indicate to install Acoustical Clouded Ceilings in Rooms 212, 213 & 214.
Could clarification be provided that no Acoustical Ceiling Clouds are scheduled for Corridor 215?

RESPONSE

No acoustical ceiling clouds in Corridor 215.

84. QUESTION

Referring to Sheets A7.02, A7.03, A7.04 & A7.05, General Finish Notes indicates all existing floors will be patched and refurbished as necessary to create smooth and level finish. Wood sheathing used as floor finish shall be replaced with a different finish to match surrounding existing finish. Allowance No. 04 indicates to provide a cost to repair and/or replace 3,735 SF of Hardwood Flooring.
Confirm this is the limits of Hardwood Flooring to be calculated in Base Bid as an Allowance for the General Finish Notes on Sheets A7.02, A7.03, A7.04 & A7.05.

RESPONSE

All hardwood floor and subfloors shall be replaced.

85. QUESTION

Referring to General Finish Note on Sheets A7.02, A7.03, A7.04 & A7.05 & Allowance No. 04.
Could a Specification be provided identifying the species, thickness, width, and grade of hardwood flooring?

RESPONSE

Specification included in this addendum.

86. QUESTION

Referring to Sheet A7.01 Finish Schedule, General Finish Notes; Masonry walls to remain shall be patched/restored if necessary and left exposed. Only paint existing masonry walls that have previously received paint, leave unpainted masonry unpainted.
Will the cost associated with this Scope of Work be covered under Allowance No. 06 since the area of existing painted masonry walls was not identified on the Plan Sheets?

**SECTION 099300 - STAINING AND TRANSPARENT FINISHING PART 1 – GENERAL
1.1 SUMMARY**

Section includes surface preparation and application of wood stains and transparent finishes.

Exterior Substrates:

Exposed framing.

Interior Substrates:

Exposed framing.
Dressed lumber (finish carpentry or woodwork).
Could the limits of this specification be provided in detail within the Plan Sheets or a detailed summary be provided that relates to the Design intent?

RESPONSE

Allowance has been deleted in the revised spec included in this addendum. Paint per drawings and finish schedule on A7.01.

87. QUESTION

The existing floors are severely sagging due to column and beam failure. The Structural Engineer has provided directive on how to reinforce and replace called out members. The Structural & Architectural Plans do not call out how to remedy the sagging floors. Shoring up and replacing columns alone will not remedy the sagging floors.
What is the expectation and tolerances for attempting to level of each floor at the Main Building & Rear Addition?

RESPONSE

Floors should be leveled to within +/- 1 inch.

88. QUESTION

Due to the conditions of the existing beams (*rot, separation from anchors, separation from brackets, splitting, termite damages*), attempting to jack up the floors with the beams current condition is subject for breakage of beams and failed shoring. It is recommended to stabilize & reinforce the beams at their current settlement elevation and level up the floors from the top with light weight self-leveling. Then apply the floor finish. Another floor finish may need to be considered where scheduled to receive refurbishing of hardwood flooring.
What is the expectation and tolerances for attempting the leveling of each floor scheduled at the Main Building & Rear Addition to receive refurbished hardwood flooring?

RESPONSE

Floors should be leveled to within +/- 1 inch.

89. QUESTION

Will the Structural Engineer of Record be attending the bi-weekly progress meeting until the structural scope of work is complete?

RESPONSE

Yes, with 4 of those being virtual.

90. QUESTION

SECTION 072500 - WEATHER BARRIERS PART 1 – GENERAL SUMMARY

Section Includes:

Flexible flashing.

Drainage material.

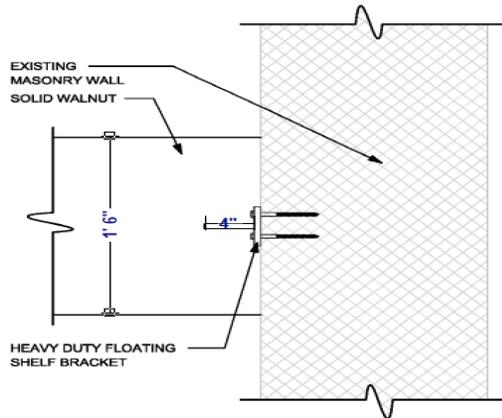
Where on the Plan Sheets does this apply?

RESPONSE

Do not apply.

91. QUESTION

Referring to Sheet A5.02, detail 5/A5.02 Floating Shelves (Review screen shot below)



5 CASEWORK SECTION - FLOATING SHELVES
A5.02 1 1/2" = 1'-0"

What material and finish shall the heavy-duty floating shelf brackets be?

What is the width of the solid walnut shelf? When scaling the drawings, its 1'-6". This width of solid walnut is not available.

RESPONSE

Basis of Design: 2 inch thick walnut. VEVOR Floating Shelf Bracket 230 lbs/104 kg weight capacity, Heavy Duty Hidden Shelf Brackets support, wall mounting invisible

92. QUESTION

On sheet FP1.01, note 19 calls out that that the buildings structural system needs evaluated (calculated) for the load of the newly installed sprinkler piping with water. Is it being requested that the sprinkler contractor perform structural calculations? Or would we only supply piping (full with water) weights to the structural engineers for them (structural engineer) to perform final calculations and drawings (if required)?

RESPONSE

In the initial evaluation of the building, a sprinkler load of 2 psf was added to the calculations at each floor level and the roof. The sprinkler submittal shall provide loads for verification.

93. QUESTION

Specification section T60-11108 calls for labeled and painted piping. To confirm, you are not requesting painted piping, labeled piping, or P&ID drawings (with P&ID tags) on this project, correct?

RESPONSE

Not required

94. QUESTION

Referring to Sheet A1.05 Roof Plan & Sheet A1.06, detail 1/A1.06 Parapet Detail
Appears the parapet around the Main Building scales to be 1'-6" wide. Detail 1/A1.06 indicates to install new 2x8 wood nailer. Should we include an additional nailer to make up the remaining 8" of parapet wall?

RESPONSE

Yes, provide wood nailer to match existing condition.

95. QUESTION

Referring to Sheet A1.05 Roof Plan & Sheet A1.06, detail 1/A1.06 Parapet Detail
Appears the parapet between the Main Building & Rear Addition scales to be 1' wide. Detail 1/A1.06 indicates to install new 2x8 wood nailer. Should we provide a 2x12 wood nailer for this parapet wall?

RESPONSE

Yes, provide wood nailer to match existing condition.

96. QUESTION

Upon observation during the prebid meeting severe buckling of the hardwood floors and subfloors was noticed on the first floor. No directives for repairing these floors identified in the bidding documents. How will this be addressed?

RESPONSE

All hardwood floor and subfloors shall be replaced.

97. QUESTION

Referring to Sheet S-100 Foundation Plan Note 04; Coordinate location of new sump pits with Architectural & MEP drawings and all trades. Reinforce sump pits with #5 bars @ 8" OC horizontal and vertical in walls and #5 @ 8" OC E.W. in bottom of pit.
The Structural & Architectural do not indicate nor show any demolition to the existing pit foundation, slab, and/or walls. Is the intent of the Design do provide new foundations, new pit, new sump pit, and new elevator shaft walls from basement F.F.E. to first floor F.F.E?

RESPONSE

Existing elevator pit is to remain. Cut slab to install new sump pit.

98. QUESTION

Allowance #3 new stone window sills, the majority of sills do not exist. Please verify.

RESPONSE

Allowance has been removed. All stone sills shall be replaced.

99. QUESTION

Allowance #4 for hardwood flooring, based on the Conditions observed during the Prebid walkthrough, the water damage is significant. Verify the quantity of replacement.

RESPONSE

Allowance has been adjusted in revised spec included in this addendum.

100. QUESTION

Provide a design of reactions for elevator bracing.

RESPONSE

Provide the elevator information that was used as the basis of design to provide elevator reactions. Reactions need to be confirmed with elevator to be supplied.

101. QUESTION

Provide a specification of material suggested for fire rating timbers shown in Note 1 on drawings A1.07, A1.08, A1.09, and A1.10 reflected ceiling drawings.

RESPONSE

Reference specification section 078123 Intumescent Fireproofing

102. QUESTION

Will you allow our subs a site visit?

RESPONSE

We will not be allowing any further site visits for the remainder of the bidding period.

103. QUESTION

Referring to Sheet A1.06, detail 5/A1.06 Parapet Detail & Existing Addition & Sheet A1.04 Fourth Floor Plan

The detail identified 2x4 wood framing and 5/8" gypsum board. Sheet A1.04 Fourth Floor Plan does not identify new walls to be constructed. Could this be clarified?

RESPONSE

Delete 2x4 wood furring and 5/8" gypsum board from detail 5/A1.06.

104. QUESTION

Referring to Sheets A7.01-A7.05 General finish notes, all existing brick masonry walls to remain shall be patched/restored if necessary and left exposed.

Will these repairs, if needed, be performed under the Unit Price No. 1 brick repointing/Lineal Foot?

RESPONSE

It is included in allowance no. 1 that has been revised in this addendum

105. QUESTION

Can Unit Price No. 2 unit of measurement be changed to /lineal feet instead of /each to coincide with Allowance No. 02?

RESPONSE

Allowance and unit cost for window sill resetting has been deleted in the revised spec included in this addendum. All stone sills shall be replaced.

106. QUESTION

Can Unit Price No. 3 be adjusted to have a separate pricing for both single <5' and double >5' stone sill replacement?

RESPONSE

Allowance and unit cost for new stone window sills has been deleted in the revised spec included in this addendum. All stone sills shall be replaced.

107. QUESTION

On Sheet S-600 photos 4 and 9 are the only areas requiring masonry infills. Will there be a Unit Price/brick be provided for additional brick replacement, if required, or a Quantity allotment be added to the base bid?

RESPONSE

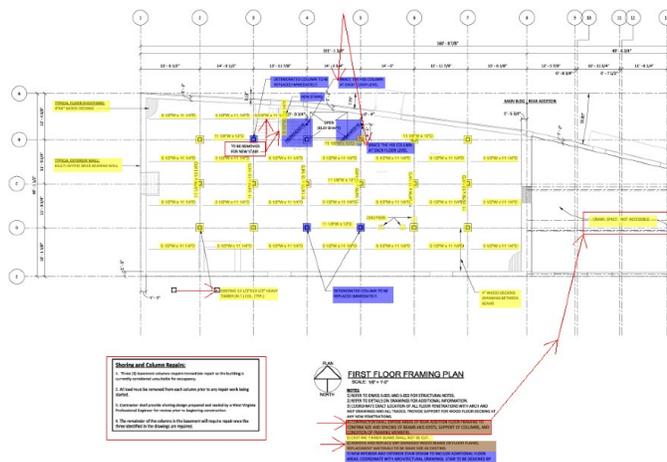
An allowance and unit cost for brick replacement has been added in the revised spec included in the addendum.

108. QUESTION

Referring to Sheet A-101 First Floor Framing Plan, Existing 13-1/2" x 13-1/2" Heavy Timber (H.T.) COL. (TYP)

Do all (18) eighteen existing 13-1/2" x 13-1/2" Heavy Timbers get replaced on the first-floor or just the (3) three deteriorated columns to be replaced immediately?

Could a detail be provided for the connection point of the first-floor columns to the basement columns and a detail be provide at the ceiling where the first-floor columns connect at the second-floor columns?

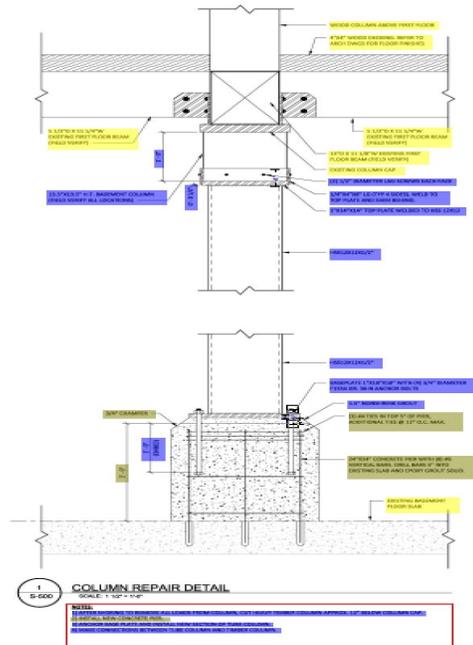


RESPONSE

The columns that are to be replaced are in the basement. All basement columns are to be replaced, with the worst 3 to be done first, after the building is properly shored. Any bowed columns in the rear addition shall also be replaced. Base bid shall include replacing 50% of the rear addition columns. The basement columns that are to be replaced should all have the cast saddle connection at the top so the detail provided should be adequate. This connection is below the first floor.

109. QUESTION

Referring to Sheet S-500 Structural Details, detail 1/S-500 Column Repair Detail Wrapping the top of the beam and installing the column over the embedded anchor bolts within the crawl space will be extremely difficult with only a 1-1/2" grout space. Would one of the two options be permitted. Allow a 3" grout space and/or allow for the 3" anchor bolts to be drilled and epoxied into place.



RESPONSE

A thicker grout space can be utilized or the anchors can be installed as epoxy anchors once the concrete has cured appropriately.

110. QUESTION

Referring to Sheet S-300 Column Schedule Confirm the columns highlighted in yellow are existing and remain in place. The columns dimensions were provided for informational purposes.

COLUMN SCHEDULE

C1 EXISTING
C2 TO BE REPLACED
C3 TO BE REPLACED IN BASEMENT

RESPONSE

All yellow highlighted columns are existing and to remain. Dimensions were provided for informational purposes only. Any bowed columns in the rear addition are to be replaced. Columns in the basement level are to be replaced.

5. CLARIFICATIONS

1. Due to the current condition of the building, there will be phases of the work completed. The bid form has been updated accordingly:
 - **The base bid** shall include the complete repair and replacement of the roofing system, all associated roof drainage/plumbing, and all structural scope **except** for construction of the new exterior stair and the openings for the new exterior doors serving the stair.
 - **Alternate #1** – Building Envelope, shall include replacement of existing window units and stone sills, replacement of existing exterior doors and masonry restoration and repair.
 - **Alternate #2** - Shall include the new exterior stair and ramps, installation of new exterior doors/openings, new custom canopy, elevator system and all interior build-out with associated mechanical, electrical and plumbing.

If you have any questions or comments, please feel free to contact me at your earliest convenience. As a reminder, bids will be received until **3:30 p.m. on Tuesday, March 3, 2026**, at **Coalfield Development Corporation** located at **2923 Park Avenue, Huntington, WV 25704**. Good luck to everyone and thank you for your interest in the project.

Sincerely,

THE THRASHER GROUP, INC.



AMANADA CHEUVRONT, AIA NCARB

Project Manager

Enclosures:



**COALFIELD DEVELOPMENT
CABELL COUNTY, WEST VIRGINIA
FOR THE
JUST TRANSITION CENTER
THRASHER #T60-11108**

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Coalfield Development
Just Transition Center

REVISED: Addendum 3
February 18, 2026

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017823

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017839

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**COALFIELD DEVELOPMENT
CABELL COUNTY, WEST VIRGINIA
FOR THE
JUST TRANSITION CENTER
THRASHER #T60-11108**

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BID FORM FOR CONSTRUCTION CONTRACT

The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

ARTICLE 1—OWNER AND BIDDER

1.01 This Bid is submitted to:

*Coalfield Development
2923 Park Ave
Huntington, WV 25704*

1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

ARTICLE 2—ATTACHMENTS TO THIS BID

2.01 The following documents are submitted with and made a condition of this Bid:

A. Bid Opening Requirements

ARTICLE 3—BASIS OF BID—LUMP SUM BID AND UNIT PRICES

GENERAL

The Bidder shall take notice of and shall be responsible for any local or state taxes levied and applicable, and the cost for the same shall be included as part of the submitted Bid.

The total Bid cost stated includes a complete operating installation including furnishing and installation of any and all changes or additions in plans, piping, mechanical work, additional electrical work, accessories, controls, etc. necessary to accommodate alternative equipment systems or materials used in construction.

BID PROPOSAL

The Bidder agrees to perform all required Work described in the detailed Specifications and as shown on the Plans for the complete construction and placing in satisfactory operation the Farmers Market and Greenhouse. The Project "Sequence of Construction" has been detailed in the Drawings and Specification Division 1, Project Summary, Section 011000. The Bidder agrees to perform all the Work proposed for the total of the following Bid prices.

3.01 *Lump Sum Bids*

A. Bidder will complete the Work in accordance with the Contract Documents for the lump sum (stipulated) price(s), shown in the bid schedule.

B. Lump Sum Bids may be one of the following:

1. Lump Sum Price (Single Lump Sum)
 2. Lump Sum Price (Base Bid and Alternates)
 3. Lump Sum Price (Sectional Lump Sum Bids)
- C. All specified cash allowance(s) are included in the price(s) set forth in the bid schedule, and have been computed in accordance with Paragraph 3.8 of the General Conditions.
- D. All specified contingency allowances are included in the price(s) set forth in the bid schedule, and have been computed in accordance with Paragraph 3.8 of the General Conditions.

BID SCHEDULE
PROPOSED
JUST TRANSITION CENTER
FOR THE
COALFIELD DEVELOPMENT
CABELL COUNTY, WEST VIRGINIA

3.02 Total Bid Price Lump Sum

NOTE: Bid PRICE amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern. Bids shall include sales tax and all other applicable taxes and fees.

BASE BID

Item #	Qty	UNIT	DESCRIPTION	TOTAL PRICE
1	1	LS	<p><i>Provide all labor, materials, equipment, fees, bonds, insurance and taxes to perform the work as detailed in the plans and specifications and addenda.</i></p> <p>Structural and Roof - The base bid shall include the complete repair and replacement of the roofing system, all associated roof drainage/plumbing, and all structural scope excluding construction of the new exterior stair and the openings for the new exterior doors serving the stair.</p>	

TOTAL BID: _____
 (Written in Words)

(Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.)

ADD ALTERNATE #1 - BUILDING ENVELOPE

Item #	Qty	UNIT	DESCRIPTION	TOTAL PRICE
1	1	LS	1. Replacement of existing window units and stone sills, replacement of existing exterior doors and masonry restoration and repair.	

TOTAL ADD ALTERNATE #1 BID: _____
 (Written in Words)

(Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.)

ADD ALTERNATE #2 – INTERIOR FIT OUT

Item #	Qty	UNIT	DESCRIPTION	TOTAL PRICE
1	1	LS	Alternate No. 2: Exterior and Interior Fit out 1. New exterior stair and ramp, installation of new exterior doors/openings, new custom canopy, elevator system and all interior build-out with associated mechanical, electrical and plumbing.	

TOTAL ADD ALTERNATE #2 BID: _____
 (Written in Words)

(Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.)

UNIT PRICES – (For information purposes only)

Item #	Qty.	UNIT	DESCRIPTION	UNIT PRICE	UNIT PRICE WRITTEN IN WORDS	TOTAL PRICE
1		LF	Brick Repointing			
2		EA	Window Sill Resetting.			
3		EA	New Stone Window Sill to Match Existing.			
4		SF	Hardwood Flooring for Patching and/or Replacing Damaged Hardwoods.			

NOTE: THE CONTRACTOR’S UNIT PRICES SHALL INCLUDE PURCHASE AND INSTALLATION, COMPLETE IN PLACE, PER BID ITEM IN ACCORDANCE WITH THE DETAILED SPECIFICATIONS AND DESCRIPTIONS OF ITEMS.

Unit Prices have been computed in accordance with the following conditions:

- A. Where the Contract Documents provide that all or part of the Work is to be Unit Price Work, initially the Contract Price will be deemed to include for all Unit Price Work an amount equal to the sum of the unit price for each separately identified item of Unit Price Work times the estimated quantity of each item as indicated in the Agreement.
- B. The estimated quantities of items of Unit Price Work are not guaranteed and are solely for the purpose of comparison of Bids and determining an initial Contract Price. Determinations of the actual quantities and classifications of Unit Price Work performed by Contractor will be made by Engineer. Engineer will determine the actual quantities and classifications of Unit Price Work performed by Contractor. Engineer will review with Contractor the Engineer’s preliminary determinations on such matters before rendering a written decision thereon (by recommendation of an Application for Payment or otherwise).

Engineer's written decision thereon will be final and binding (except as modified by Engineer to reflect changed factual conditions or more accurate data) upon Owner and Contractor, subject to the provisions of Paragraph 10.05.

- C. Each unit price will be deemed to include an amount considered by Contractor to be adequate to cover Contractor's overhead and profit for each separately identified item.
- D. Owner or Contractor may make a Claim for an adjustment in the Contract Price in if:
 - 1. the quantity of any item of Unit Price Work performed by Contractor differs materially and significantly from the estimated quantity of such item indicated in the Agreement; and
 - 2. there is no corresponding adjustment with respect to any other item of Work; and
 - 3. Contractor believes that Contractor is entitled to an increase in Contract Price as a result of having incurred additional expense or Owner believes that Owner is entitled to a decrease in Contract Price and the parties are unable to agree as to the amount of any such increase or decrease.

Bidder acknowledges that estimated quantities are not guaranteed and are solely for the purpose of comparison of Bids, and final payment for all unit price Bid items will be based on actual quantities, determined as provided in the Contract Documents.

3.02 *Method of Award*

If at the time this contract is to be awarded, the lowest total bid submitted by a qualified, responsive, responsible Bidder does not exceed the amount of funds then estimated by the Owner, as available to finance the contract, the construction contract will be awarded. Awarding of Additive Alternate(s) will not affect the lowest Bidder. If such bids exceed such amount, the Owner may reject all bids.

The Owner will award the contract on the total base bid amount inclusive or exclusive of alternates as determined by the Owner and submitted by a qualified, responsive, responsible Bidder. The Owner may elect to award any or all of the additive alternates in no particular order.

- A. Unit prices have been computed in accordance with paragraph 13.03.A of the General Conditions.
- B. Bidder acknowledges that estimated quantities are not guaranteed and are solely for the purpose of comparison of Bids, and final payment for all Unit Price Bid items will be based on actual quantities, determined as provided in the Contract Documents.

ARTICLE 4—DELETED

ARTICLE 5—TIME OF COMPLETION

- 5.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Article 8 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement.
- 5.02 Bidder accepts the provisions of the Agreement as to liquidated damages.

ARTICLE 6—BIDDER’S ACKNOWLEDGEMENTS: ACCEPTANCE PERIOD, INSTRUCTIONS, AND RECEIPT OF ADDENDA

6.01 *Bid Acceptance Period*

- A. This Bid will remain subject to acceptance for 90 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.

6.02 *Instructions to Bidders*

- A. Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security.

6.03 *Receipt of Addenda*

- A. Bidder hereby acknowledges receipt of the following Addenda:

Addendum Number	Addendum Date

ARTICLE 7—BIDDER’S REPRESENTATIONS AND CERTIFICATIONS

7.01 *Bidder’s Representations*

- A. In submitting this Bid, Bidder represents the following:
1. Bidder has examined and carefully studied the Bidding Documents, including Addenda.
 2. Bidder has visited the Site, conducted a thorough visual examination of the Site and adjacent areas, and become familiar with the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
 3. Bidder is familiar with all Laws and Regulations that may affect cost, progress, and performance of the Work.
 4. Bidder has carefully studied the reports of explorations and tests of subsurface conditions at or adjacent to the Site and the drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, with respect to the Technical Data in such reports and drawings.
 5. Bidder has carefully studied the reports and drawings relating to Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, with respect to Technical Data in such reports and drawings.
 6. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and the Technical Data identified in the Supplementary Conditions or by definition, with respect to the effect of such information, observations, and Technical Data on (a) the cost, progress, and performance of the Work; (b) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder, if selected as Contractor; and (c) Bidder’s (Contractor’s) safety precautions and programs.
 7. Based on the information and observations referred to in the preceding paragraph, Bidder agrees that no further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract.
 8. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
 9. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and of discrepancies between Site conditions and the Contract Documents, and the written resolution thereof by Engineer is acceptable to Contractor.
 10. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.
 11. The submission of this Bid constitutes an incontrovertible representation by Bidder that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

7.02 *Bidder’s Certifications*

- A. The Bidder certifies the following:

1. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation.
2. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid.
3. Bidder has not solicited or induced any individual or entity to refrain from bidding.
4. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 8.02.A:
 - a. Corrupt practice means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process.
 - b. Fraudulent practice means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition.
 - c. Collusive practice means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish bid prices at artificial, non-competitive levels.
 - d. Coercive practice means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

BIDDER hereby submits this Bid as set forth above:

Bidder:

(typed or printed name of organization)

By: _____
(individual's signature)

Name: _____
(typed or printed)

Title: _____
(typed or printed)

Date: _____
(typed or printed)

If Bidder is a corporation, a partnership, or a joint venture, attach evidence of authority to sign.

Attest: _____
(individual's signature)

Name: _____
(typed or printed)

Title: _____
(typed or printed)

Date: _____
(typed or printed)

Address for giving notices:

Bidder's Contact:

Name: _____
(typed or printed)

Title: _____
(typed or printed)

Phone: _____

Email: _____

Address: _____

Bidder's Contractor License No.: (if applicable) _____

HYDRANT FLOW RESULTS

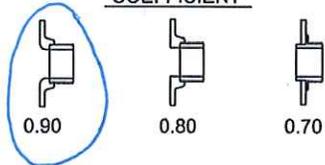
Time of Test: 10:30am Job: Coalfield Dev. Logan - Old Robertson Bldg.
 Date: 04-01-2024 Taken By: Les Ward
 Witness: Logan Water Dept. / Chance Bittinger

HYD#	# of Openings	Pitot Tube	Gallons per Minute	Static Pressure (psi)	Residual Pressure (psi)
1	0	N/A	N/A	106/106	95
2	1 - 2½"	2½"	870	105	27
	2 - 2½"				
	1 - 4½" or 5"				

GALLONS PER MIN.

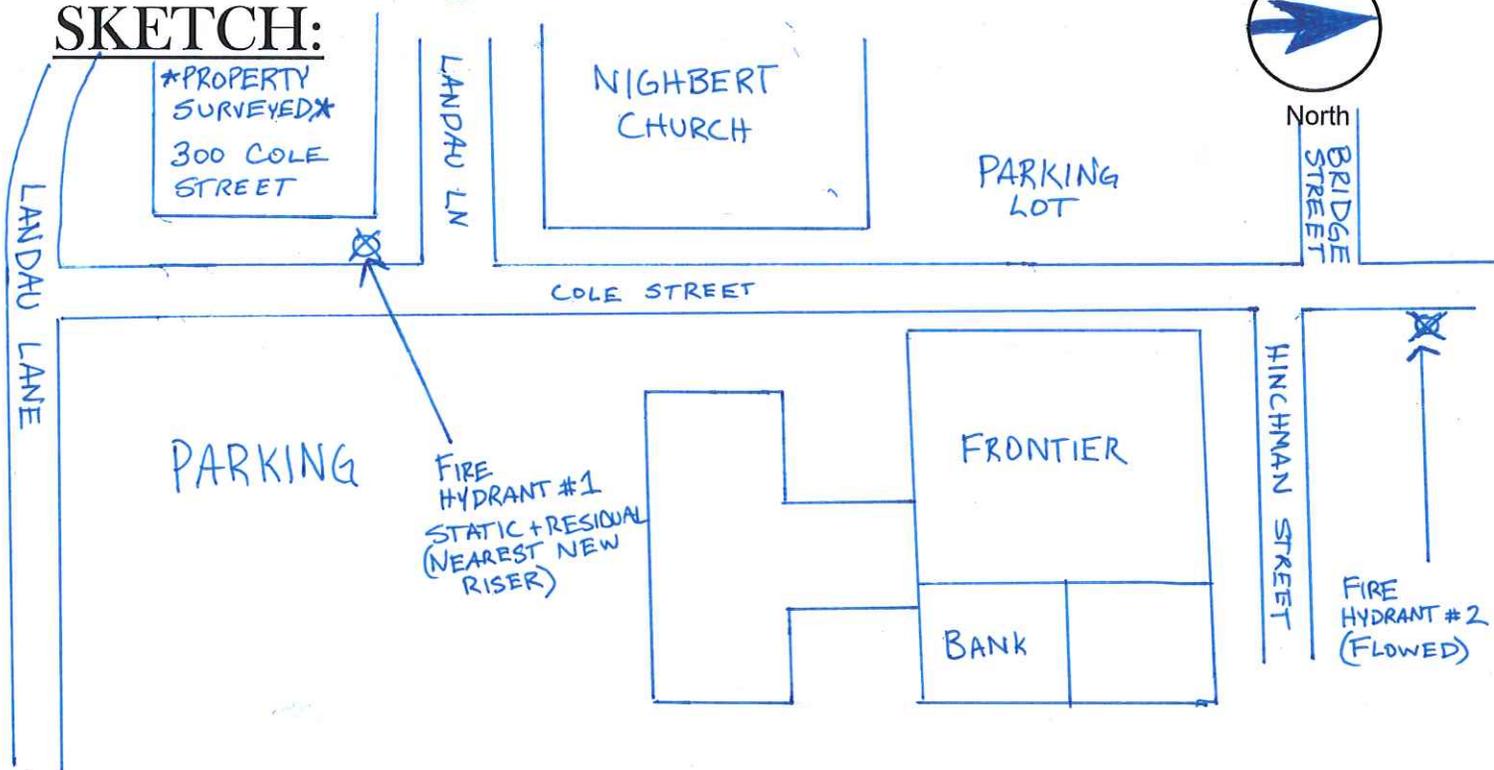
$Q=29.84cd\sqrt{P} - 2\frac{1}{2}"$
 $Q=29.84cd\sqrt{P} - 4\frac{1}{2}" @ UP$

COEFFICIENT



Underground Size: 8" reducing to 6"
 Dead End/Circulating: Circulating
 Opening on Hydrant: 4½" or 5"

SKETCH:



SECTION 012100 - ALLOWANCES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
 - 1. Lump-sum allowances.
 - 2. Quantity allowances.
- C. Related Requirements:
 - 1. Section 012200 "Unit Prices" for procedures for using unit prices, including adjustment of quantity allowances when applicable.

1.2 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection, or purchase and delivery, of each product or system described by an allowance must be completed by the Owner to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.3 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances in the form specified for Change Orders.

1.4 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.5 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.

1.6 QUANTITY ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.

1.7 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
 - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
 - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other markups.
 - 3. Submit substantiation of a change in scope of Work, if any, claimed in Change Orders related to unit-cost allowances.
 - 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.
- B. Submit claims for increased costs because of a change in scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
 - 1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of Work has changed from what could have been foreseen from information in the Contract Documents.
 - 2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Quantity Allowance: Include 3,600 linear feet of brick repointing.
 - 1. Coordinate quantity allowance adjustment with unit-price requirements in Section 012200 "Unit Prices."
- B. Allowance No. 2: Quantity Allowance: Include 3,600 square feet of brick replacement.
 - 1. Coordinate quantity allowance adjustment with unit-price requirements in Section 012200 "Unit Prices."
- C. Allowance No. 3: Lump-Sum Allowance: Include the sum of \$25,000 for rear addition crawl space framing and columns. The condition of the first-floor framing and ground floor columns of the rear addition could not be assessed since it could not be viewed. Further observations are required to perform any analysis in this area. During shoring and demolition, the General Contractor is to create a penetration in the rear additional crawl space and expose the existing framing and columns for the Architect and/or Structural Engineer to review. Once reviewed the Architect will issue a drawing for the structural implications in the framing and columns. This drawing shall then be used to determine the lump-sum allowance needed to complete the work.
 - 1. This allowance includes material cost receiving, handling, and installation and Contractor overhead and profit.
- D. Allowance No. 4: Lump-Sum Allowance: Include the sum of \$10,000 to remove and replace any damaged wood joists, beams, or roof plank. Replacement materials to be same as the existing.
 - 1. This allowance includes material cost receiving, handling, and installation and Contractor overhead and profit.
- E. Allowance No. 5: Lump-sum Allowance: Include \$500 for Mountain Mindful exterior signage indicated on Sheet A5.02 and detail 8/A5.02.

1. This allowance includes material cost receiving, handling, and installation and Contractor overhead and profit.

END OF SECTION 012100

SECTION 012200 - UNIT PRICES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.

1.2 DEFINITIONS

- A. Unit price is an amount incorporated into the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.
- B. Contractor provided Unit Prices indicated on the Bid Form are not considered by the Owner when determining the lowest qualified bidder. For additional information refer to the Instructions to Bidders.

1.3 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

- A. Unit Price No. 1: Brick repointing.
 - 1. Unit of Measurement: Linear foot.

2. Quantity Allowance: Coordinate unit price with allowance adjustment requirements in Section 012100 "Allowances."
- B. Unit Price No. 2: Brick Replacement.
1. Unit of Measurement: Square foot.
 2. Quantity Allowance: Coordinate unit price with allowance adjustment requirements in Section 012100 "Allowances."

END OF SECTION 012200

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost for each alternate is the net addition to the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.3 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other work of the Contract.
- C. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

Alternate No. 1: Building Envelope

1. Replacement of existing window units and stone sills, replacement of existing exterior doors and masonry restoration and repair.
2. Base Bid: structure and roof.

Alternate No. 2: Exterior and Interior Fit out

1. New exterior stair and ramp, installation of new exterior doors/openings, new custom canopy, elevator system and all interior build-out with associated mechanical, electrical and plumbing.
2. Base Bid: structure and roof.
3. Alternate No. 1: Building Envelope

END OF SECTION 012300

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes repairing brick masonry.

1.2 UNIT PRICES

- A. Work of this Section is affected by unit prices specified in Section 012200 "Unit Prices."

1.3 DEFINITIONS

- A. Rebuilding (Setting) Mortar: Mortar used to set and anchor masonry in a structure, distinct from pointing mortar installed after masonry is set in place.

1.4 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.

1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Shop Drawings:
 - 1. Include plans, elevations, sections, and locations of replacement bricks on the structure.
 - 2. Show provisions for expansion joints or other sealant joints.
- C. Samples: For each exposed product and for each color and texture specified.

1.6 QUALITY ASSURANCE

- A. Brick Masonry Repair Specialist Qualifications: Engage an experienced brick masonry repair firm to perform work of this Section. Firm shall have completed work similar in material, design, and extent to that indicated for this Project with a record of successful in-service performance. Experience in only installing masonry is insufficient experience for masonry repair work.
- B. Mockups: Prepare mockups of brick masonry repair to demonstrate aesthetic effects and to set quality standards for materials and execution and for fabrication and installation.
 - 1. Masonry Repair: Prepare sample areas for each type of masonry repair work performed. If not otherwise indicated, size each mockup not smaller than two adjacent whole units or approximately 48 inches in least dimension. Construct sample areas in locations in

existing walls where directed by Architect unless otherwise indicated. Demonstrate quality of materials, workmanship, and blending with existing work.

PART 2 - PRODUCTS

2.1 MASONRY MATERIALS

- A. Face Brick: As required to complete brick masonry repair work.
 - 1. Brick Matching Existing: Units with colors, color variation within units, surface texture, size, and shape that match existing brickwork.
 - a. Physical Properties: According to ASTM C67
 - b. For existing brickwork that exhibits a range of colors or color variation within units, provide brick that proportionally matches that range and variation rather than brick that matches an individual color within that range.
 - 2. Special Shapes:
 - a. Provide molded, 100 percent solid shapes for applications where core holes or "frogs" could be exposed to view or weather when in final position and where shapes produced by sawing would result in sawed surfaces being exposed to view.
 - b. Provide specially ground units, shaped to match patterns, for arches and where indicated.
 - c. Mechanical chopping or breaking brick, or bonding pieces of brick together by adhesive, are unacceptable procedures for fabricating special shapes.
- B. Building Brick: ASTM C62, Grade SW where in contact with earth or Grade SW, MW, or NW for concealed backup; and of same vertical dimension as face brick, for masonry work concealed from view.

2.2 MORTAR MATERIALS

- A. Portland Cement: ASTM C150/C150M, Type I or Type II, except Type III may be used for cold-weather construction; gray where required for color matching of mortar.
 - 1. Provide cement containing not more than 0.60 percent total alkali when tested according to ASTM C114.
- B. Hydrated Lime: ASTM C207, Type S.
- C. Masonry Cement: ASTM C91/C91M.
 - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. Cemex S.A.B. de C.V.
 - b. Heidelberg Materials.

- c. [Holcim \(US\) Inc.](#)
- d. [Quikrete; The QUIKRETE Companies, LLC.](#)

D. Mortar Cement: ASTM C1329/C1329M.

- 1. **Manufacturers:** Subject to compliance with requirements, provide products by the following:
 - a. Holcim (US) Inc.

E. Mortar Sand: ASTM C144.

- 1. Exposed Mortar: Match size, texture, and gradation of existing mortar sand as closely as possible. Blend several sands if necessary to achieve suitable match.
- 2. Colored Mortar: Natural sand or ground marble, granite, or other sound stone of color necessary to produce required mortar color.

F. Water: Potable.

2.3 MANUFACTURED REPAIR MATERIALS

A. Brick Patching Compound: Factory-mixed cementitious product that is custom manufactured for patching brick masonry.

- 1. **Manufacturers:** Subject to compliance with requirements, provide products by one of the following:
 - a. [Cathedral Stone Products, Inc.](#)
 - b. [Conproco Corporation.](#)
 - c. [Edison Coatings, Inc.](#)
- 2. Use formulation that is vapor and water permeable (equal to or more than the brick), exhibits low shrinkage, has lower modulus of elasticity than bricks being repaired, and develops high bond strength to all types of masonry.
- 3. Formulate patching compound in colors and textures to match each brick being patched.

2.4 ACCESSORY MATERIALS

A. Setting Buttons and Shims: Resilient plastic, nonstaining to masonry, sized to suit joint thicknesses and bed depths of bricks, less the required depth of pointing materials unless removed before pointing.

B. Other Products: Select materials and methods of use based on the following, subject to approval of a mockup:

- 1. Previous effectiveness in performing the work involved.
- 2. Minimal possibility of damaging exposed surfaces.
- 3. Consistency of each application.
- 4. Uniformity of the resulting overall appearance.

5. Do not use products or tools that could leave residue on surfaces.

2.5 MORTAR MIXES

- A. Measurement and Mixing: Measure cementitious materials and sand in a dry condition by volume or equivalent weight. Do not measure by shovel; use known measure. Mix materials in a clean, mechanical batch mixer.
- B. Colored Mortar: Produce mortar of color required by using specified ingredients. Do not alter specified proportions without Architect's approval.
- C. Do not use admixtures in mortar unless otherwise indicated.
- D. Mixes: Mix mortar materials in the following proportions:
 1. Rebuilding (Setting) Mortar by Type: ASTM C270, Proportion Specification, Type N unless otherwise indicated; with cementitious material limited to mortar cement.

PART 3 - EXECUTION

3.1 BRICK REMOVAL AND REPLACEMENT

- A. At locations indicated, remove bricks that are damaged, spalled, or deteriorated. Carefully remove entire units from joint to joint, without damaging surrounding masonry, in a manner that permits replacement with full-size units.
- B. Support and protect remaining masonry that surrounds removal area.
- C. Maintain flashing, reinforcement, lintels, and adjoining construction in an undamaged condition.
- D. Notify Architect of unforeseen detrimental conditions including voids, cracks, bulges, and loose units in existing masonry backup, rotted wood, rusted metal, and other deteriorated items.
- E. Remove in an undamaged condition as many whole bricks as possible.
 1. Remove mortar, loose particles, and soil from brick by cleaning with hand chisels, brushes, and water.
 2. Remove sealants by cutting close to brick with utility knife and cleaning with solvents.
- F. Clean masonry surrounding removal areas by removing mortar, dust, and loose particles in preparation for brick replacement.
- G. Replace removed damaged brick with other removed brick in good condition, where possible, matching existing brick. Do not use broken units unless they can be cut to usable size.
- H. Install replacement brick into bonding and coursing pattern of existing brick. If cutting is required, use a motor-driven saw designed to cut masonry with clean, sharp, unchipped edges.
 1. Maintain joint width for replacement units to match existing joints.

- I. Lay replacement brick with rebuilding (setting) mortar and with completely filled bed, head, and collar joints. Butter ends with enough mortar to fill head joints and shove into place. Wet both replacement and surrounding bricks that have ASTM C67 initial rates of absorption (suction) of more than 30 g/30 sq. in. per min. Use wetting methods that ensure that units are nearly saturated but surface is dry when laid.
 1. Tool exposed mortar joints in repaired areas to match joints of surrounding existing brickwork.
 2. When mortar is hard enough to support units, remove shims and other devices interfering with pointing of joints.
- J. Curing: Cure mortar by maintaining in thoroughly damp condition for at least 72 consecutive hours, including weekends and holidays.
 1. Hairline cracking within the mortar or mortar separation at edge of a joint is unacceptable. Completely remove such mortar and repoint.

3.2 BRICK MASONRY PATCHING

A. Patching Bricks:

1. Remove loose material from masonry surface. Carefully remove additional material so patch does not have feathered edges but has square or slightly undercut edges on area to be patched and is at least 1/4 inch thick, but not less than recommended in writing by patching compound manufacturer.
2. Mask adjacent mortar joint or rake out for repointing if patch extends to edge of brick.
3. Mix patching compound in individual batches to match each unit being patched. Combine one or more colors of patching compound, as needed, to produce exact match.
4. Rinse surface to be patched and leave damp, but without standing water.
5. Brush-coat surfaces with slurry coat of patching compound according to manufacturer's written instructions.
6. Place patching compound in layers as recommended in writing by patching compound manufacturer, but not less than 1/4 inch or more than 2 inches thick. Roughen surface of each layer to provide a key for next layer.
7. Trowel, scrape, or carve surface of patch to match texture and surrounding surface plane or contour of brick. Shape and finish surface before or after curing, as determined by testing, to best match existing brick.
8. Keep each layer damp for 72 hours or until patching compound has set.

END OF SECTION 040120.63

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SECTION 096400 - WOOD FLOORING

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Field-finished wood flooring.

1.2 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Shop Drawings: For each type of floor assembly and accessory. Include plans, sections, and attachment details. Include expansion provisions and trim details.
- C. Samples: For each exposed product and for each color and texture specified.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Hardwood Flooring: Comply with NWFA A500 for species, grade, and cut.
 - 1. Certification: Provide flooring that carries NWFA grade stamp on each bundle or piece.
- B. Maple Flooring: Comply with applicable MFMA grading rules for species, grade, and cut.
 - 1. Certification: Provide flooring that carries MFMA mark on each bundle or piece.
- C. Softwood Flooring: Comply with WCLIB No. 17 grading rules for species, grade, and cut.

2.2 FIELD-FINISHED WOOD FLOORING

- A. Solid-Wood Flooring: Kiln dried to 6 to 9 percent maximum moisture content; tongue and groove and end matched; with backs channeled.
 - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. Acer Flooring.
 - b. Carlisle Wide Plank Floors.
 - c. Oregon Lumber Company.
 - d. WD Flooring, LLC.
 - 2. Grade and Species: Clear red oak.

3. Cut: Vertical grain.
 4. Thickness: 3/4 inch.
 5. Face Width: 2-1/4 inches.
 6. Lengths: Random-length strips complying with applicable grading rules.
 7. Simulated Wood Pegs: Contrasting wood pegs at ends of flooring pieces.
- B. Urethane Finish System: Complete solvent-based, oil-modified system of compatible components that is recommended by finish manufacturer for application indicated.
1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. Absolute Coatings, Inc.
 - b. Basic Coatings.
 - c. Bona US.
 - d. Dura Seal.
 - e. Hillyard, Inc.
 - f. MAPEI Corporation.
 - g. PoloPlaz.
 2. Stain: Penetrating and nonfading type.
 - a. Color: As selected by Architect from manufacturer's full range.
 3. Floor Sealer: Pliable, penetrating type.
 4. Finish Coats: Formulated for multicoat application on wood flooring.
- C. Wood Filler: Compatible with finish system components and recommended by filler and finish manufacturers for use indicated. If required to match approved Samples, provide pigmented filler.

2.3 ACCESSORY MATERIALS

- A. Wood Sleepers and Subfloor: As specified in Section 061000 "Rough Carpentry" and Section 061600 "Sheathing."
- B. Wood Underlayment: As specified in Section 061600 "Sheathing."
- C. Wood Flooring Adhesive: Mastic recommended by flooring and adhesive manufacturers for application indicated.
- D. Fasteners: As recommended by manufacturer, but not less than that recommended in NWFA's "Installation Guidelines."
- E. Thresholds and Saddles: To match wood flooring. Tapered on each side.
- F. Reducer Strips: To match wood flooring. 2 inches wide, tapered, and in thickness required to match height of flooring.
- G. Wood Air Vents and Grilles: To match wood flooring and in sizes and design indicated on Drawings.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Comply with flooring manufacturer's written installation instructions, but not less than applicable recommendations in NWFA's "Installation Guidelines."
- B. Wood Sleepers and Subfloor: Install according to requirements in Section 061000 "Rough Carpentry" and Section 061600 "Sheathing."
- C. Wood Underlayment: Install according to requirements in Section 061600 "Sheathing."
- D. Provide expansion space at walls and other obstructions and terminations of flooring of not less than 3/4 inch.
- E. Solid-Wood Flooring: Blind nail or staple flooring to substrate.
 - 1. Plank Flooring: For flooring of face width more than 3 inches:
 - a. Hardwood: Install countersunk screws at each end of each piece in addition to blind nailing. Cover screw heads with wood plugs glued flush with flooring.
 - b. Softwood: Install no fewer than two countersunk nails at each end of each piece, spaced not more than 16 inches along length of each piece, in addition to blind nailing. Fill holes with matching wood filler.

3.2 FIELD FINISHING

- A. Machine-sand flooring to remove offsets, ridges, cups, and sanding-machine marks that are noticeable after finishing. Vacuum and tack with a clean cloth immediately before applying finish.
 - 1. Comply with applicable recommendations in NWFA's "Installation Guidelines."
- B. Fill open-grained hardwood.
- C. Fill and repair wood flooring defects.
- D. Apply floor-finish materials in number of coats recommended by finish manufacturer for application indicated, but not less than one coat of floor sealer and three finish coats.
 - 1. Apply stains to achieve an even color distribution matching approved Samples.
 - 2. For water-based finishes, use finishing methods recommended by finish manufacturer to minimize grain raise.
- E. Cover wood flooring before finishing.
- F. Do not cover wood flooring after finishing until finish reaches full cure, and not before seven days after applying last finish coat.

3.3 PROTECTION

- A. Protect installed wood flooring during remainder of construction period with covering of heavy kraft paper or other suitable material. Do not use plastic sheet or film that might cause condensation.
 - 1. Do not move heavy and sharp objects directly over kraft-paper-covered wood flooring. Protect flooring with plywood or hardboard panels to prevent damage from storing or moving objects over flooring.

END OF SECTION 096400

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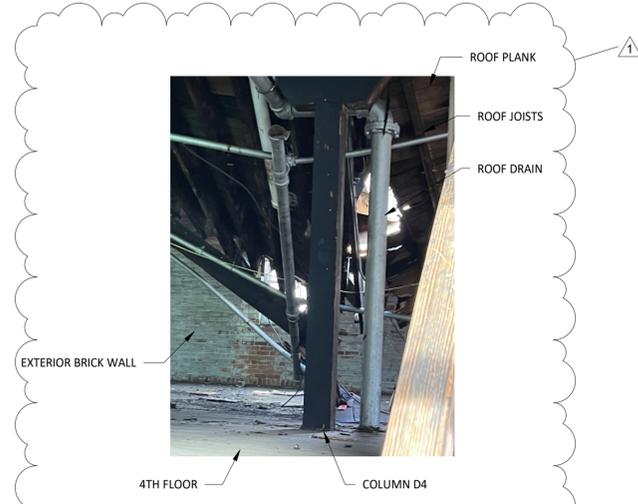
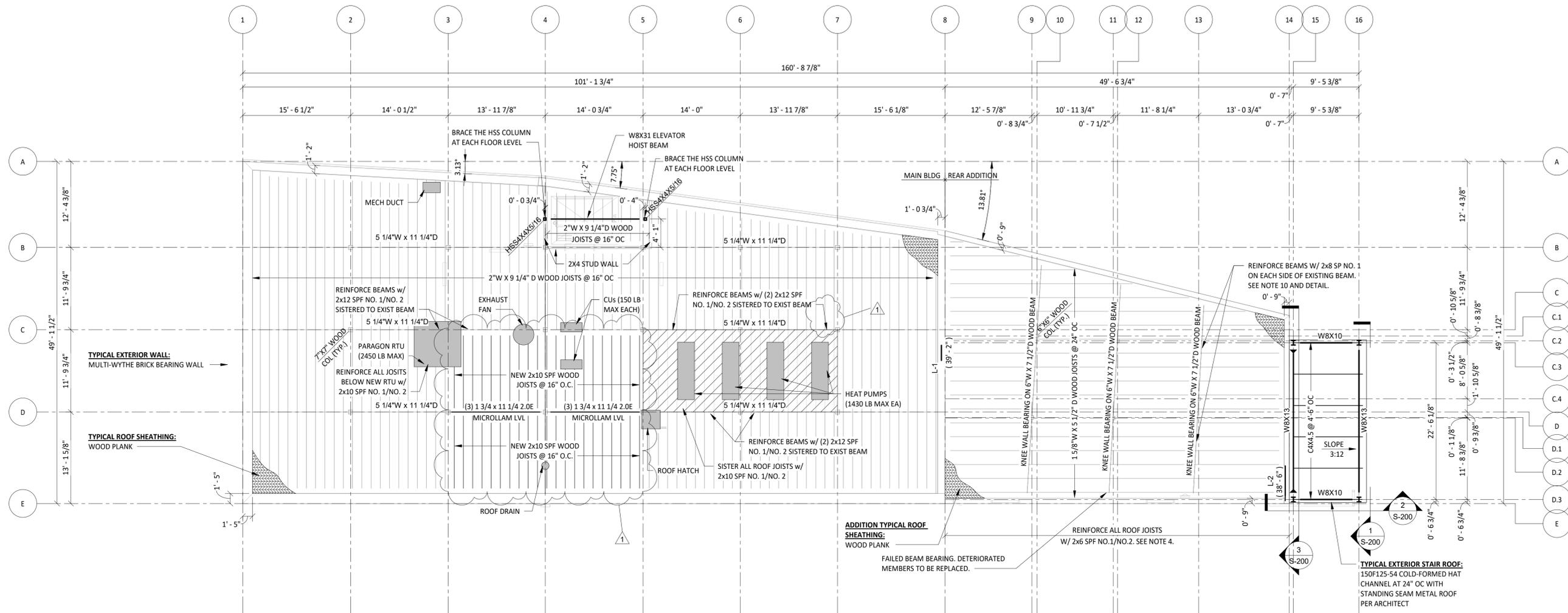


2/13/26



CAS
STRUCTURAL
ENGINEERING, INC.

CAS Structural Engineering, Inc.
P.O. Box 400
Aurora Creek, WV 26005-0400
304.792.2004 or 304.792.2005
Email: cas@caseng.com
www.caseng.com



PARTIAL ROOF COLLAPSE



ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

- NOTES:**
- 1) REFER TO DWGS S-001 AND S-002 FOR STRUCTURAL NOTES.
 - 2) REFER TO DETAILS ON DRAWINGS FOR ADDITIONAL INFORMATION.
 - 3) COORDINATE EXACT LOCATION OF ALL ROOF PENETRATIONS WITH ARCH AND MEP DRAWINGS AND ALL TRADES.
 - 4) ALL REAR ADDITION ROOF JOISTS SHALL BE REINFORCED WITH NEW 2x6 SPF NO. 1/NO. 2 JOISTS. SISTER TO EXISTING JOIST AND ATTACH WITH CONSTRUCTION ADHESIVE AND #12 WOOD SCREWS @ 12" OC, STAGGERED TOP AND BOTTOM.
 - 5) INSTALL NEW COLUMNS IN REAR ADDITION AS SHOWN.
 - 6) EXISTING TIMBER BEAMS SHALL NOT BE CUT.
 - 7) HEAD OFF ROOF JOISTS ONLY AS REQUIRED FOR NEW ROOF OPENINGS. REFER TO DETAILS.
 - 8) REMOVE AND REPLACE ANY DAMAGED WOOD JOISTS, BEAMS, OR ROOF PLANKS. REPLACEMENT MATERIALS TO BE SAME SIZE AS EXISTING.
 - 9) SISTER NEW JOISTS AND BEAMS IN ORIGINAL BUILDING TO EXISTING FRAMING AS INDICATED. ATTACH WITH CONSTRUCTION ADHESIVE AND #12 WOOD SCREWS @ 12" OC, STAGGERED TOP AND BOTTOM.
 - 10) ATTACH NEW SP NO. 1 2x8 TO EACH SIDE OF EXISTING BEAM WITH CONSTRUCTION ADHESIVE AND @ 12 WOOD SCREWS @ 12" O.C. STAGGERED TOP AND BOTTOM. REFER TO DETAIL ON DWG S-500 FOR ADDITIONAL BRACING.
 - 11) "L-1" AND "L-2" REFER TO VARIOUS LINTELS. SEE SCHEDULE ON S-500 FOR SIZE AND NOTES. VERIFY ELEVATIONS WITH ARCH DRAWINGS.

- NOTES CONT.:**
- 12) THIS PORTION OF THE ROOF HAS HAD A PARTIAL COLLAPSE. REMOVE JOISTS IN LOCATION AS INDICATED, POCKET NEW JOISTS INTO EXISTING EXTERIOR WALL. PROTECT ENDS OF JOISTS FROM MOISTURE IN EXTERIOR WALL. INSTALL BRIDGING AT 8'-0" O.C. MAX. JOISTS SHALL BE LONG ENOUGH TO BEAR ON TOP OF BEAM AND OVERLAP. SECURE TO EACH OTHER AT OVERLAP. ANCHOR TO BEAM WITH SIMPSON LT GA CLIPS.
 - 13) NEW BEAMS FROM COL. LINE 3 TO 5 ON COL. LINE D SHALL BE (3) 1 3/4 x 11 1/4 2.0E MICROLLAM LVL, BEARING IN SAME MANNER AS EXISTING ROOF BEAMS. BOLT TOGETHER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 14) COVER DAMAGED AREA WITH 3/4" (MIN. THK.) ADVANTEK APA RATED SHEATHING. SECURE TO NEW AND EXISTING JOISTS W/ 8D NAILS (1 3/8 PENETRATION) @ 6" O.C.

NO.	BY	DATE	DESCRIPTION
1	CAS	1/15/26	NEW ROOF REPAIRS AT COLLAPSE LOCATION

JUST TRANSITION CENTER
COALFIELD DEVELOPMENT
LOGAN, WV
03/20/2024
CONSTRUCTION DRAWINGS

DRAWN: SR DATE: 03/20/24
CHECKED: CAS DATE: 03/20/24
APPROVED: CAS DATE: 03/20/24

PROJECT No. T60-11108

ROOF FRAMING PLAN

SHEET No.

S-105