

**PRESTON COUNTY ECONOMIC DEVELOPMENT AUTHORITY
PRESTON COUNTY, WEST VIRGINIA
GRACE CHAPEL SITE DEVELOPMENT**

**ADDENDUM #2
August 19, 2021**

**GRACE CHAPEL SITE DEVELOPMENT
THRASHER PROJECT #030-3454**

TO WHOM IT MAY CONCERN:

A MANDATORY Pre-Bid Conference was held on Tuesday, August 10, 2021 on the above-referenced project, a copy of the sign in sheet is included in this Addendum. The following are clarifications and responses to questions posed by contractors for the above reference project.

A. GENERAL

1. **CONTRACT #1 – BID FORM HAS BEEN REVISED. YOU MUST USE THE REVISED BID FORM WHEN PREPARING YOUR BID PACKAGE FOR THIS PROJECT.**
2. **CONTRACT #4 – BID FORM HAS BEEN REVISED. YOU MUST USE THE REVISED BID FORM WHEN PREPARING YOUR BID PACKAGE FOR THIS PROJECT.**

B. SPECIFICATIONS

Contract 1 – Specification 075323 Paragraph 3.2D has been deleted.

C. DRAWINGS

Contract #1 – Roof Replacement

Sheet A1.01R has been revised and is included in this Addendum.
Sheet D1.01R has been revised and is included in this Addendum.

Contract #4 – Site Development

Sheet C3.03 has been added and is included in this Addendum.
Sheet C3.04 has been added and is included in this Addendum.
Sheet C3.05 has been added and is included in this Addendum
Sheet C3.06 has been added and is included in this Addendum.
Sheet C5.01 has been revised and is included in this Addendum.

D. QUESTIONS AND RESPONSES

GENERAL

QUESTION

1. The Bid Bond that needs to be provided with our Bid will it be a 5% or 10% Bid Bond?

RESPONSE

10% Bid Bond.

QUESTION

2. Is there an Engineers office required for this project? If so, which contract includes this cost? Is it Contract #1, Contract #2, Contract #3 or Contract #4?

RESPONSE

No contractor is not required to provide field office for the architect or engineer.

QUESTION

3. General: Is the Contractor required to furnish a field office for the Engineer per the project documents?

RESPONSE

No contractor is not required to provide field office for the architect or engineer.

CONTRACT #1 – Roof Replacement

QUESTION

4. Specification 075323 Paragraph 3.2 states the following:

D. Adhered Insulation: Install each layer of insulation and adhere to substrate as follows:

1. Set each layer of insulation in insulation adhesive, firmly pressing and maintaining insulation in place.

E. Mechanically Fastened Insulation: Install each layer of insulation and secure to deck using mechanical fasteners specifically designed and sized for fastening specified board-type roof insulation to deck type.

Which Method of attachment is correct? Do you want the insulation fully adhered with Adhesive or mechanically fastened?

RESPONSE

Spec Section 075323. Delete paragraph 3.2-D regarding adhered insulation. All new roof insulation shall be installed using mechanical fasteners.

CONTRACT #2 – Electrical Upgrades

QUESTION

5. Can Hubbell Lighting manufacturer be used as a lighting substitution?

RESPONSE

Yes

CONTRACT #4 – Site Development

QUESTION

6. The topsoil on site do we need to haul it off or can we stockpile it on site somewhere?

RESPONSE

No you won't need to haul it off site. Topsoil, will be re-distributed across the newly created pad, prior to seeding.

QUESTION

7. If there is extra soil from Pad construction, do we need to haul it off or can we lose it on site?

RESPONSE

Any extra material should be able to be disposed of on-site.

QUESTION

8. I see there is a line item for blacktop milling but I don't see any plans for it.

RESPONSE

The line item refers to the existing parking lot. A drawing for clarification will be added to addendum 3.

QUESTION

9. There is a line item for resetting of a power pole, but on the plans, it says power company responsible for resetting. Do I need to include a price for this as well?

RESPONSE

Yes include a price.

QUESTION

10. Item 7, Silt Fence: Is the silt fence for the project to be regular silt fence, super silt fence, or smart fence?

RESPONSE

Smart Fence.

QUESTION

11. Item 13, Aggregate Base Course, Class 10: The bid item description and quantity reflects a 10" thickness but the details on plan sheet C7.05 show 8" thick class 1. Which is correct?

RESPONSE

Item 13 will be revised to reflect Aggregate Base Course, Class I. The thickness is 8".

QUESTION

12. Item 16, ECS/Stormwater Management Pond: Please verify that the contractor has the option of using a skimmer device instead of a temporary riser structure, and if so, what is the diameter of the skimmer?

RESPONSE

No, contractor does not have the option of using a skimmer device in lieu of the specified temporary riser structure.

QUESTION

13. General: Will items such as silt fence and the compost filter sock need to be removed under this contract? If so, can the wood chips from the compost filter sock be dispersed on site?

RESPONSE

Removal of the erosion and sediment control devices will be the responsibility of the site contractor once the site been stabilized. Wood chips from compost filter sock are not permitted to be dispersed on the site.

QUESTION

14. Is the intent to respread "topsoil" on the cut/fill slopes as well as the proposed pad? The notes on plan sheet C0.00 call for it to be distributed on all areas to be stabilized.

RESPONSE

Yes. Topsoil, will be re-distributed across the newly created pad, prior to seeding.

QUESTION

15. Can the finish elevations of the site be adjusted if the swell factor and/or topsoil quantity are different than what has been assumed?

RESPONSE

In the event that occurs, we will be flexible with proposed finished grades.

QUESTION

16. Bid Item #4 - Can clear and grub materials be burnt on site?

RESPONSE

Contractor will be required to obtain any necessary permits to burn on-site.

QUESTION

17. Bid Item #7 -Silt fence -Do we use WV Std Silt Fence or do we use Super Silt Fence {Smart Fence -42)? Both details are in plans but plans call for Silt Fence -not Super Silt Fence.

RESPONSE

All items labeled on the plans as silt fence. Contractor shall be required to use Smart Fence.

QUESTION

18. Do we respread salvaged topsoil on proposed pad or just seed and mulch subgrade? Is there a disposal site for excess topsoil not needed?

RESPONSE

Topsoil, will be re-distributed across the newly created pad, prior to seeding.

QUESTION

19. Bid Item #13 -Aggregate Base Course, Class 10 -10" - 489 C. Yds. -Details on plan sheet C7 .05 calls for 8" WVDOH Class 1. What is class 10? Is base course 10" or 8" thick?

RESPONSE

Item 13 will be revised to reflect Aggregate Base Course, Class I. The thickness is 8".

E. CLARIFICATIONS

1. **CONTRACT #1 – BID FORM HAS BEEN REVISED. YOU MUST USE THE REVISED BID FORM WHEN PREPARING YOUR BID PACKAGE FOR THIS PROJECT.**
2. **CONTRACT #4 – BID FORM HAS BEEN REVISED. YOU MUST USE THE REVISED BID FORM WHEN PREPARING YOUR BID PACKAGE FOR THIS PROJECT.**
3. Water is readily available on-site for the environmental contract.
4. The laboratory reported lead concentrations from floor sweeping samples is between 1,960 and 19,200 milligrams per kilogram (mg/Kg).
5. The laboratory reported the TCLP-lead analysis is less than hazardous waste determination levels for the floor sweeping sample.
6. The laboratory reported the presence of arsenic, barium, cadmium, chromium, lead, selenium, and silver from wipe samples collected from the various stained surfaces within the building.

7. 75 lead test kit sample swabs were collected from painted surfaces; only four of the 75 indicated the presence of measurable lead.
8. A conclusion can be made that the source of metals in the floor sweepings and from the stained surfaces is due to the former operational activities, and is not due to the presence of lead-based paint.
9. Remediation of the metals is recommended prior to the building being occupied.
10. Using Hubbell Lighting manufacturer as a Lighting substitution is acceptable.
11. Please delete pages 128-130 (Advertisement for Bids) of the Contract Documents and Specifications book. These pages were for examples only for AML projects.

If you have any questions or comments, please feel free to contact me at your earliest convenience. As a reminder, bids will be received until 2:00 p.m. on Thursday, September 2, 2021 at the Preston County Economic Development Authority, 157 Plaza Court, Suite 8, Kingwood, Preston County, WV. Good luck to everyone and thank you for your interest in the project.

Sincerely,

THE THRASHER GROUP, INC.



Robert Milne, PE
Project Manager



**PRESTON COUNTY ECONOMIC DEVELOPMENT AUTHORITY
PRESTON COUNTY, WEST VIRGINIA
ROOF, ELECTRICAL UPGRADES, ENVIRONMENTAL ABATEMENT, AND SITE DEVELOPMENT**

**PRE-BID CONFERENCE
Tuesday, August 10, 2021, 10:00am**

Thrasher Project #030-3454

Architect Project # 060-10160

Name	Representing	Phone #	Email Address
Jason Henry	Groor Ind.	304-413-3339	jhenry@groorindustries.com
DERRICK SEARS	FOSTER SUPPLY	304-553-6565	dsears@fostersupply.com
JAMES ALLEN	J&J BENTON PRIZES	304/6418224	JFALLEN.FARM@gmail.com
Shawn Hornsby	Mountaineer / Preston Contractors	304-663-3384	shawn.hornsby@mciwv.com
MIKE RICHARDSON	OSMRE	304-347-1162	MrRichardson@osmre.gov
Roger Earle	WV DEP. AML	304-926-0499	Roger.A.Earle@wv.gov
STAN GOSSETT	K&A KRAMER 2005-05	304-280-2021	stang@kram.net

**PRESTON COUNTY ECONOMIC DEVELOPMENT AUTHORITY
PRESTON COUNTY, WEST VIRGINIA
ROOF, ELECTRICAL UPGRADES, ENVIRONMENTAL ABATEMENT, AND SITE DEVELOPMENT**

**PRE-BID CONFERENCE
Tuesday, August 10, 2021, 10:00am**

Thrasher Project #030-3454

Architect Project # 060-10160


Name	Representing	Phone #	Email Address
Derek Sjgman	Astar	304-552-8897	dsjgman@astarabatement.com
Michael Widdup	Mon Valley Integration	304-212-2930	Michael.Widdup@monvalleyintegration.com
Keith Sturtz	Excavating Associates Inc	301)777-0444	rdom@excavatingassociates.com
Dylan Bowers	Laurita, Inc.	(304)-276-3638	dbowers@laurita.com
JASON VERNON	PARROTTA PAUING	304-288-7973	jverwo@parrotta paving.com
Caleb Butcher	Select Excavating	304-613-9194	caleb@selectexcavating.com
Jason N. Spina	Land Scapes Plus	304-640-0077	landscapesplus@yahoo.com
Paul Behedum	Reclaim Co. LLC	304-366-7070	pbehedum@Reclaimco.com
Charles Lewis	The Dirt Doctor	304-918-8085	clewis@thedirtdoctor.com

**PRESTON COUNTY ECONOMIC DEVELOPMENT AUTHORITY
PRESTON COUNTY, WEST VIRGINIA
ROOF, ELECTRICAL UPGRADES, ENVIRONMENTAL ABATEMENT, AND SITE DEVELOPMENT**

**PRE-BID CONFERENCE
Tuesday, August 10, 2021, 10:00am**

Thrasher Project #030-3454

Architect Project # 060-10160

Name	Representing	Phone #	Email Address
<p><i>Mark Speirs</i></p> <p>Since 1923</p>  <p>TRI-STATE Roofing & Sheet Metal Company</p> <p>1651 Blue Horizon Dr., Morgantown, WV 26501 PO Box 4255, Morgantown, WV 26504 Office: 304-328-5244 Cell: 304-216-7781 Fax: 304-328-5248 E-mail: jbornak@tri-stateservice.com www.tri-stateservice.com</p>	<p><i>N.F. Mansuetto + Sons, Inc.</i></p> <p>JON BORNAK Vice President</p>	<p><i>740-633-7320</i></p>	<p><i>mark@mansuettoroofing.com</i></p> <p><i>jbornak@tri-state service.com</i></p>
<p><i>Matt Selders</i></p>	<p><i>Kanawha Stone Company, Inc.</i></p>	<p><i>304-755-8271</i></p>	<p><i>math.selders@kanawhasstone.com</i></p>
<p><i>Scott Rice</i></p>	<p><i>Hite Roofing</i></p>	<p><i>301-729-0920</i></p>	<p><i>srice@thebeltgroup.com</i></p>
<p><i>Justin Hayes</i></p>	<p><i>Wolfes Excavating</i></p>	<p><i>304-669-6364</i></p>	<p><i>jhayes@wolfesexcavating.com</i></p>
<p><i>Jeremy Bilotta</i></p>	<p><i>Anderson Excavating</i></p>	<p><i>304-983-2296 304-943-3521</i></p>	<p><i>sjefrancis@andersonexcavating.com</i></p>

**PRESTON COUNTY ECONOMIC DEVELOPMENT
AUTHORITY
FOR THE
GRACE CHAPEL SITE DEVELOPMENT
THRASHER PROJECT #030-3454**

**CONTRACT #1 – ROOF REPLACEMENT
BID**

Proposal of _____
(hereinafter called "BIDDER"), organized and existing under the laws of the State of
_____ doing business as _____
_____*

To Preston County Economic Development Authority (hereinafter called "OWNER").

In compliance with your Advertisement for Bids, BIDDER hereby proposes to perform all WORK for the construction of Grace Chapel Site Development, in strict accordance with the CONTRACT DOCUMENTS, within the time set forth therein, and at the prices stated below.

By submission of this BID, each BIDDER certifies, and in the case of a joint BID each party thereto certifies as to its own organization, that this BID has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this BID with any other BIDDER or with any competitor.

BIDDER hereby agrees to commence WORK under this contract on or before a date to be specified in the NOTICE TO PROCEED and to fully complete the PROJECT within 180 consecutive calendar days thereafter. BIDDER further agrees to pay as liquidated damages, the sum of \$1000.00 for each consecutive calendar day thereafter.

GENERAL

- A. The Bidder shall take notice of and shall be responsible for any local or state taxes

levied and applicable, and the cost for the same shall be included as part of the submitted bid.

- B. The total bid cost stated includes a complete operating installation including furnishing and installation of any and all changes or additions in plans or specifications.

BID PROPOSAL:

The Bidder agrees to perform all required work described in the detailed specifications and shown on the construction drawings for the complete construction.

BIDDER acknowledges receipt of the following ADDENDUM:

BIDDER agrees to perform all the work described in the CONTRACT DOCUMENTS for the following lump sum:

BID SCHEDULE

TOTAL BASE BID:

Provide all labor, materials, equipment, fees, bonds, insurance, and taxes to construct the work as detailed in the plans, specifications, and addenda.

Dollars (\$ _____)

*Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.

NOTE: Bids shall include all applicable taxes and fees.

Provide unit cost per square foot for decking removal and installation for any change to decking replacement.

Unit Price Description	Unit Price in Words	Unit Price in Figures

METHOD OF AWARD

If at the time this contract is to be awarded, the lowest base bid submitted by a qualified, responsible Bidder does not exceed the amount of funds then estimated by the Owner, as available to finance the contract; the construction contract will be awarded. If such bids exceed such amount, the owner may reject all bids. The Owner may award the contract on the base bid submitted by a qualified responsible bidders, less the amounts of the alternates subtracted in numerical order, as listed in contract to produce the lowest bid within the funds available for financing.

SUBMITTED this _____ day of _____, 20 _____

By _____ (SEAL)
(Company Name)

Doing business as _____

Business address: _____

Phone No. _____

WV Contractor's License No. _____

Authorized Signature _____

PRESTON COUNTY ECONOMIC DEVELOPMENT AUTHORITY
PRESTON COUNTY, WEST VIRGINIA
PROPOSED
GRACE CHAPEL SITE DEVELOPMENT
THRASHER PROJECT #030-3554
CONTRACT #4 – SITE DEVELOPMENT
BID FORM

ARTICLE 1 – BID RECIPIENT

1.01 This Bid is submitted to:
Preston County Economic Development Authority
157 Plaza Court, Suite 8
Kingwood, WV 26537

1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

ARTICLE 2 – BIDDER’S ACKNOWLEDGEMENTS

2.01 Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for 90 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.

ARTICLE 3 – BIDDER’S REPRESENTATIONS

3.01 In submitting this Bid, Bidder represents that:

A. Bidder has examined and carefully studied the Bidding Documents, and any data and reference items identified in the Bidding Documents, and hereby acknowledges receipt of the following Addenda:

<u>Addendum No.</u>	<u>Addendum Date</u>
_____	_____
_____	_____
_____	_____

B. Bidder has visited the Site, conducted a thorough, alert visual examination of the Site and adjacent areas, and become familiar with and satisfied itself as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.

C. Bidder is familiar with and has satisfied itself as to all Laws and Regulations that may affect cost, progress, and performance of the Work.

- D. Bidder has carefully studied all: (1) reports of explorations and tests of subsurface conditions at or adjacent to the Site and all drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, especially with respect to Technical Data in such reports and drawings, and (2) reports and drawings relating to Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, especially with respect to Technical Data in such reports and drawings.
- E. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and any Site-related reports and drawings identified in the Bidding Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder; and (3) Bidder's safety precautions and programs.
- F. Bidder agrees, based on the information and observations referred to in the preceding paragraph, that no further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of this Bid for performance of the Work at the price bid and within the times required, and in accordance with the other terms and conditions of the Bidding Documents.
- G. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
- H. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and confirms that the written resolution thereof by Engineer is acceptable to Bidder.
- I. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for the performance and furnishing of the Work.
- J. The submission of this Bid constitutes an incontrovertible representation by Bidder that Bidder has complied with every requirement of this Article, and that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

ARTICLE 4 – BIDDER'S CERTIFICATION

4.01 Bidder certifies that:

- A. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation;
- B. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid;
- C. Bidder has not solicited or induced any individual or entity to refrain from bidding; and
- D. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 4.01.D:
 - 1. "corrupt practice" means the offering, giving, receiving, or soliciting of any thing of value likely to influence the action of a public official in the bidding process;
 - 2. "fraudulent practice" means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition;

3. “collusive practice” means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish bid prices at artificial, non-competitive levels; and
4. “coercive practice” means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

ARTICLE 5 – BASIS OF BID

GENERAL

The Bidder shall take notice of and shall be responsible for any local or state taxes levied and applicable, and the cost for the same shall be included as part of the submitted Bid.

The total Bid cost stated includes a complete operating installation including furnishing and installation of any and all changes or additions in plans, piping, mechanical work, additional electrical work, accessories, controls, etc. necessary to accommodate alternative equipment systems or materials used in construction.

BID PROPOSAL

The Bidder agrees to perform all required Work described in the detailed Specifications and as shown on the Plans for the complete construction and placing in satisfactory operation the Grace Chapel Site Development. The Project "Sequence of Construction" has been detailed in the Drawings and Specification Division 1, Project Summary, Section 1010, Part-2 Execution. The Bidder agrees to perform all the Work proposed for the total of the following Bid prices.

5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

**PROPOSED
GRACE CHAPEL SITE DEVELOPMENT
FOR THE
PRESTON COUNTY ECONOMIC DEVELOPMENT AUTHORITY
PRESTON COUNTY, WEST VIRGINIA**

BID SCHEDULE

NOTE: Bid Unit PRICE amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern. Bids shall include sales tax and all other applicable taxes and fees.

Item #	Qty.	UNIT	DESCRIPTION	UNIT PRICE	UNIT PRICE WRITTEN IN WORDS	TOTAL PRICE
1	1	LS	MOBILIZATION			
2	1	LS	EARTHWORK			

Item #	Qty.	UNIT	DESCRIPTION	UNIT PRICE	UNIT PRICE WRITTEN IN WORDS	TOTAL PRICE
3	1	LS	CONSTRUCTION LAYOUT			
4	1	LS	CLEARING & GRUBBING			
5	12,602	CY	TOP SOIL			
6	1	EA	STABILIZED CONSTRUCTION ENTRANCE			
7	1,970	LF	SMART FENCE			
8	7.5	AC	TEMPORARY SEEDING AND MULCHING			
9	7.5	AC	PERMANENT SEEDING AND MULCHING			
10	97	TN	MARSHALL ASPHALT SKID, TYPE I - 1"			
11	194	TN	MARSHALL ASPHALT BASE COURSE, TYPE II - 2"			
12	719	TN	MARSHALL ASPHALT BASE COURSE, TYPE II - 2"			

Item #	Qty.	UNIT	DESCRIPTION	UNIT PRICE	UNIT PRICE WRITTEN IN WORDS	TOTAL PRICE
13	489	CY	AGGREGATE BASE COURSE, CLASS 1 - 8"			
14	294	CY	SUBGRADE- 6"			
15	1,762	SY	FABRIC FOR SEPARATION			
16	1	LS	ESC/STORMWATER MANAGEMENT PONDS			
17	1	EA	OUTLET PROTECTION			
18	109	LF	18" HDPE			
19	1	EA	STORM MANHOLE			
20	588	LF	6" PVC c900 dr 14 WATER LINE			
21	1	EA	6" GATE VALVES			
22	1	EA	CAP NEW 6" LINES			

Item #	Qty.	UNIT	DESCRIPTION	UNIT PRICE	UNIT PRICE WRITTEN IN WORDS	TOTAL PRICE
23	1	EA	HOT TAP - TIE INTO EXISTING WATERLINE			
24	47	LF	12" STEEL CASING (BORE & JACK) W/CASING SPACERS			
25	2	EA	RE-SET EXISTING UTILITY POLE			
26	1	LS	SINAGE (STOP)			
27	7,121	SY	STANDARD MILLING (1")			
28	392	TN	1" OVERLAY (H.M.A. - WVDOH TYPE I WEARING COURSE)			
29	2,213	LF	18" COMPOST FILTER SOCK			
30	35	LF	REMOVAL OF EXISTING SWALE AND CONCRETE GUTTER			

TOTAL BID: _____

_____ (\$ _____)

(Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.)

NOTE: THE CONTRACTOR'S UNIT PRICES SHALL INCLUDE PURCHASE AND INSTALLATION, COMPLETE IN PLACE, PER BID ITEM IN ACCORDANCE WITH THE DETAILED SPECIFICATIONS.

Bidder acknowledges that (1) each Bid Unit Price includes an amount considered by Bidder to be adequate to cover Contractor's overhead and profit for each separately identified item, and (2) estimated quantities are not guaranteed, and are solely for the purpose of comparison of Bids, and final payment for all unit price Bid items will be based on actual quantities, determined as provided in the Contract Documents.

METHOD OF AWARD

If at the time this contract is to be awarded, the lowest total bid submitted by a qualified, responsible Bidder does not exceed the amount of funds then estimated by the Owner, as available to finance the contract, the construction contract will be awarded. If such bids exceed such amount, the Owner may reject all bids.

The owner may award the contract on the Total Bid submitted by a qualified responsible Bidder less the amount(s) of the Deductive Alternate(s) subtracted in numerical order, as listed in the contract to produce the lowest bid within the funds available for financing.

- A. Unit prices have been computed in accordance with paragraph 13.03.A of the General Conditions.
- B. Bidder acknowledges that estimated quantities are not guaranteed, and are solely for the purpose of comparison of Bids, and final payment for all Unit Price Bid items will be based on actual quantities, determined as provided in the Contract Documents.

ARTICLE 6 – TIME OF COMPLETION

- 6.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement.
- 6.02 Bidder accepts the provisions of the Agreement as to liquidated damages.

ARTICLE 7 – ATTACHMENTS TO THIS BID

- 7.01 The following documents are submitted with and made a condition of this Bid:
 - A. Bid Opening Requirements

ARTICLE 8 – DEFINED TERMS

- 8.01 The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

ARTICLE 9 – BID SUBMITTAL

BIDDER: *[Indicate correct name of bidding entity]*

By:

[Signature]

[Printed name]

(If Bidder is a corporation, a limited liability company, a partnership, or a joint venture, attach evidence of authority to sign.)

Attest:

[Signature]

[Printed name]

Title:

Submittal Date:

Address for giving notices:

Telephone Number:

Fax Number:

Contact Name and e-mail address:

Bidder's License No.:

(where applicable)

NOTE TO USER: Use in those states or other jurisdictions where applicable or required.

SECTION 075323 - ETHYLENE-PROPYLENE-DIENE-MONOMER (EPDM) ROOFING

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Adhered ethylene-propylene-diene-monomer (EPDM) roofing system.
2. Roof insulation.

1.2 DEFINITIONS

- A. Roofing Terminology: Definitions in ASTM D 1079 and glossary of NRCA's "The NRCA Roofing and Waterproofing Manual" apply to work of this Section.

1.3 PREINSTALLATION MEETINGS

- A. Preinstallation Roofing Conference: Conduct conference at Project site

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Shop Drawings: For roofing system. Include plans, elevations, sections, details, and attachments to other work.

1.5 INFORMATIONAL SUBMITTALS

- A. Research/Evaluation Reports: For components of roofing system, from ICC-ES.
- B. Sample Warranties: For manufacturer's special warranties.

1.6 CLOSEOUT SUBMITTALS

- A. Maintenance Data: For roofing system to include in maintenance manuals.

1.7 QUALITY ASSURANCE

- A. Installer Qualifications: A qualified firm that is approved, authorized, or licensed by roofing system manufacturer to install manufacturer's product and that is eligible to receive manufacturer's special warranty.

1.8 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace components of roofing system that fail in materials or workmanship within specified warranty period.
 - 1. Warranty Period: 20 years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Source Limitations: Obtain components including roof insulation and fasteners for roofing system from manufacturer approved by membrane roofing manufacturer.

2.2 PERFORMANCE REQUIREMENTS

- A. Accelerated Weathering: Roofing system shall withstand 2000 hours of exposure when tested according to ASTM G 152, ASTM G 154, or ASTM G 155.
- B. Impact Resistance: Roofing system shall resist impact damage when tested according to ASTM D 3746 or ASTM D 4272.
- C. Roofing System Design: As required by authorities having jurisdiction, and as required to resist uplift pressures anticipated for Project location.

2.3 EPDM ROOFING

- A. EPDM: ASTM D 4637, Type II, scrim or fabric internally reinforced, uniform, flexible EPDM sheet.
 - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. Carlisle SynTec Incorporated.
 - b. Firestone Building Products.
 - c. GAF Materials Corporation.
 - d. GenFlex Roofing Systems.
 - e. Johns Manville; a Berkshire Hathaway company.
 - f. Versico Incorporated.
 - g. Architect approved equivalent.
 - 2. Thickness: 90 mils, nominal.
 - 3. Exposed Face Color: Black.

2.4 AUXILIARY ROOFING MATERIALS

- A. General: Auxiliary materials recommended by roofing system manufacturer for intended use and compatible with roofing.
 - 1. Liquid-type auxiliary materials shall comply with VOC limits of authorities having jurisdiction.
- B. Sheet Flashing: 90-mil thick EPDM, partially cured or cured, according to application.
- C. Bonding Adhesive: Manufacturer's standard.
- D. Seaming Material: Manufacturer's standard, synthetic-rubber polymer primer and 3-inch- wide minimum, butyl splice tape with release film.
- E. Fasteners: Factory-coated steel fasteners and metal or plastic plates complying with corrosion-resistance provisions in FM Global 4470, designed for fastening membrane to substrate, and acceptable to roofing system manufacturer.
- F. Miscellaneous Accessories: Provide lap sealant, water cutoff mastic, metal termination bars, metal battens, pourable sealers, preformed cone and vent sheet flashings, molded pipe boot flashings, preformed inside and outside corner sheet flashings, reinforced EPDM securement strips, T-joint covers, in-seam sealants, termination reglets, cover strips, and other accessories.

2.5 ROOF INSULATION

- A. Polyisocyanurate Board Insulation: ASTM C 1289, Type II, Class 1, Grade 2, felt or glass-fiber mat facer on both major surfaces.
 - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. Atlas Roofing Corporation.
 - b. Carlisle SynTec Incorporated.
 - c. Firestone Building Products.
 - d. Hunter Panels.
 - e. Insulfoam LLC; a Carlisle company.
 - f. Johns Manville; a Berkshire Hathaway company.
 - g. Rmax, Inc.
 - h. Architect approved equivalent.
- B. Provide preformed saddles, crickets, tapered edge strips, and other insulation shapes where required for sloping to drain. Fabricate to slopes indicated. Minimum thickness shall be 4”.

2.6 INSULATION ACCESSORIES

- A. Fasteners: Factory-coated steel fasteners and metal or plastic plates complying with corrosion-resistance provisions in FM Global 4470, designed for fastening roof insulation to substrate, and acceptable to roofing system manufacturer.
- B. Insulation Adhesive: Insulation manufacturer's recommended adhesive formulated to attach roof insulation to substrate or to another insulation layer.
- C. Protection Mat: Woven or nonwoven polypropylene, polyolefin, or polyester fabric, water permeable and resistant to UV degradation, type and weight as recommended by roofing system manufacturer for application.

2.7 WALKWAYS

- A. Flexible Walkways: Factory-formed, nonporous, heavy-duty, solid-rubber, slip-resisting, surface-textured walkway pads, approximately 24 inch by 24 inch by 3/16 inch thick and acceptable to roofing system manufacturer.

PART 3 - EXECUTION

3.1 ROOFING INSTALLATION, GENERAL

- A. Install roofing system according to roofing system manufacturer's written instructions.
- B. Complete terminations and base flashings and provide temporary seals to prevent water from entering completed sections of roofing system at the end of the workday or when rain is forecast. Remove and discard temporary seals before beginning work on adjoining roofing.

3.2 INSULATION INSTALLATION

- A. Coordinate installing roofing system components so insulation is not exposed to precipitation or left exposed at the end of the workday.
- B. Install tapered insulation under area of roofing to conform to slopes indicated.
- C. Install insulation under area of roofing to achieve required thickness. Where overall insulation thickness is 2 or greater, install two or more layers with joints of each succeeding layer staggered from joints of previous layer a minimum of 6 inches in each direction.
 - 1. Set each layer of insulation in insulation adhesive, firmly pressing and maintaining insulation in place.
- D. Mechanically Fastened Insulation: Install each layer of insulation and secure to deck using mechanical fasteners specifically designed and sized for fastening specified board-type roof insulation to deck type.
 - 1. Fasten insulation to resist uplift pressure at corners, perimeter, and field of roof.

3.3 ADHERED MEMBRANE ROOFING INSTALLATION

- A. Adhere roofing over area to receive roofing according to membrane roofing system manufacturer's written instructions. Unroll membrane roofing and allow to relax before installing.
- B. Accurately align roofing, and maintain uniform side and end laps of minimum dimensions required by manufacturer. Stagger end laps.
- C. Bonding Adhesive: Apply to substrate and underside of roofing at rate required by manufacturer, and allow to partially dry before installing roofing. Do not apply to splice area of roofing.
- D. In addition to adhering, mechanically fasten roofing securely at terminations, penetrations, and perimeters.
- E. Adhesive Seam Installation: Clean both faces of splice areas, apply splicing cement, and firmly roll side and end laps of overlapping roofing according to manufacturer's written instructions to ensure a watertight seam installation. Apply lap sealant and seal exposed edges of roofing terminations.
 - 1. Apply a continuous bead of in-seam sealant before closing splice if required by roofing system manufacturer.
- F. Tape Seam Installation: Clean and prime both faces of splice areas, apply splice tape, and firmly roll side and end laps of overlapping roofing according to manufacturer's written instructions to ensure a watertight seam installation. Apply lap sealant and seal exposed edges of roofing terminations.
- G. Repair tears, voids, and lapped seams in roofing that do not comply with requirements.
- H. Spread sealant or mastic bed over deck-drain flange at roof drains, and securely seal membrane roofing in place with clamping ring.

3.4 BASE FLASHING INSTALLATION

- A. Install sheet flashings and preformed flashing accessories, and adhere to substrates according to roofing system manufacturer's written instructions.
- B. Apply bonding adhesive to substrate and underside of sheet flashing at required rate, and allow to partially dry. Do not apply to seam area of flashing.
- C. Flash penetrations and field-formed inside and outside corners with cured or uncured sheet flashing.
- D. Clean splice areas, apply splicing cement, and firmly roll side and end laps of overlapping sheets to ensure a watertight seam installation. Apply lap sealant and seal exposed edges of sheet flashing terminations.

- E. Terminate and seal top of sheet flashings and mechanically anchor to substrate through termination bars.

3.5 WALKWAY INSTALLATION

- A. Flexible Walkways: Install walkway products on roof surface from the roof access ladder location to the maintenance side of the mechanical RTU's. Adhere walkway products to substrate with compatible adhesive according to roofing system manufacturer's written instructions.

3.6 PROTECTING AND CLEANING

- A. Protect membrane roofing system from damage and wear during remainder of construction period. When remaining construction does not affect or endanger roofing, inspect roofing for deterioration and damage, describing its nature and extent in a written report, with copies to Architect and Owner.
- B. Correct deficiencies in or remove membrane roofing system that does not comply with requirements, repair substrates, and repair or reinstall membrane roofing system to a condition free of damage and deterioration at time of Substantial Completion and according to warranty requirements.
- C. Clean overspray and spillage from adjacent construction using cleaning agents and procedures recommended by manufacturer of affected construction.

END OF SECTION 075323

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DEMOLITION NOTES	
#	NOTE
1	REMOVE AND DISPOSE OF EXISTING BUILT UP ROOF (INCLUDING ANY EXISTING INSULATION, ASPHALT ROOFING, SPRAY FOAM COATING AND LIMESTONE CHIPS).
2	REMOVE EXISTING METAL ROOF DECK TO 10FT FROM ROOF EDGE.
3	REMOVE EXISTING ROOF HATCH. CURB TO REMAIN.
4	REMOVE EXISTING CAPPED ROOF CURB AND ROOF DECK WITHIN 5 FT OF CURBS SCHEDULED TO BE REMOVED.
5	DISASSEMBLE ROOF MOUNTED DUCTS BACK TO EXTERIOR MECHANICAL UNITS AND INTERIOR DUCTS WITHIN 20 FT OF ROOF PENETRATION. STORE ALL INSIDE BUILDING FOR OWNER'S FUTURE USE.
6	REMOVE EXISTING METAL COPING AND WOOD PLATES.
7	REMOVE EXISTING VENTS, DUCTS, ROOF CURBS AND ROOF DECK WITHIN 5 FT OF CURBS SCHEDULED TO BE REMOVED.

NO.	BY	DATE	DESCRIPTION
1	MLB	06/22/2017	REVISED DEMOLITION & DECK REPLACEMENT AREA

GRACE CHAPEL RD PROPERTY
PRESTON CO. ECONOMIC DEVELOPMENT AUTHORITY
KINGWOOD, WV
JULY 23, 2021
CONSTRUCTION DOCUMENTS

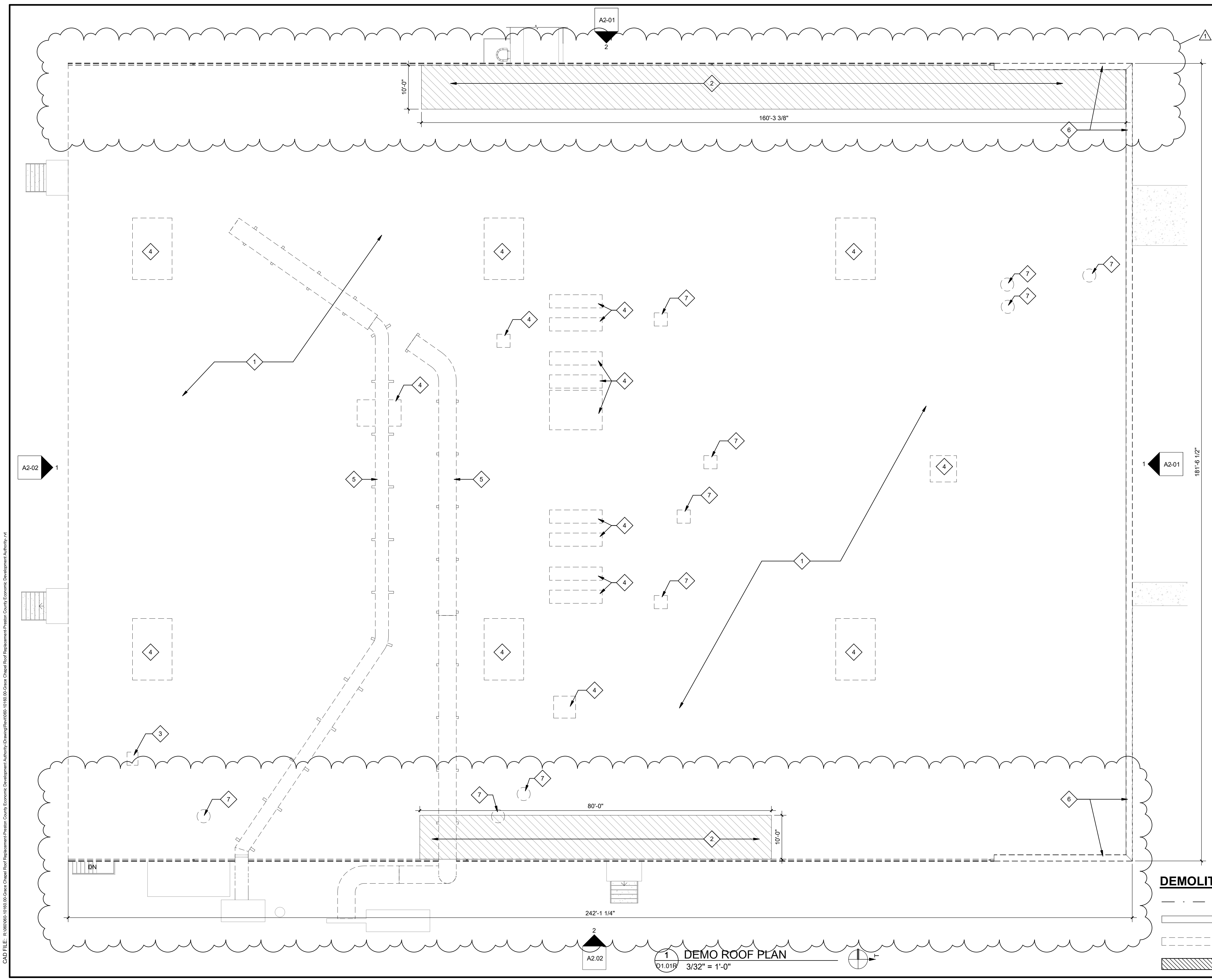
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CHECKED: DM DATE: 2-25-2021
APPROVED: DM DATE: 2-25-2021

PROJECT No. _____
Project Number

DEMOLITION PLAN

SHEET No. _____

D1.01R



DEMOLITION PLAN LEGEND

	PROJECT BOUNDARY
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	EXTENTS TO BE DEMOLISHED

1 DEMO ROOF PLAN
01.01R 3/32" = 1'-0"

LAYOUT TAB: DEMOLITION PLAN
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NO.	BY	DATE	DESCRIPTION
1	MLB	06/22/2017	REVISED DEMOLITION & DECK REPLACEMENT AREA

GRACE CHAPEL RD PROPERTY
PRESTON CO. ECONOMIC DEVELOPMENT AUTHORITY
KINGWOOD, WV
JULY 23, 2021
CONSTRUCTION DOCUMENTS

DRAWN: Author DATE: DATE
CHECKED: Checker DATE: DATE
APPROVED: Approver DATE: DATE

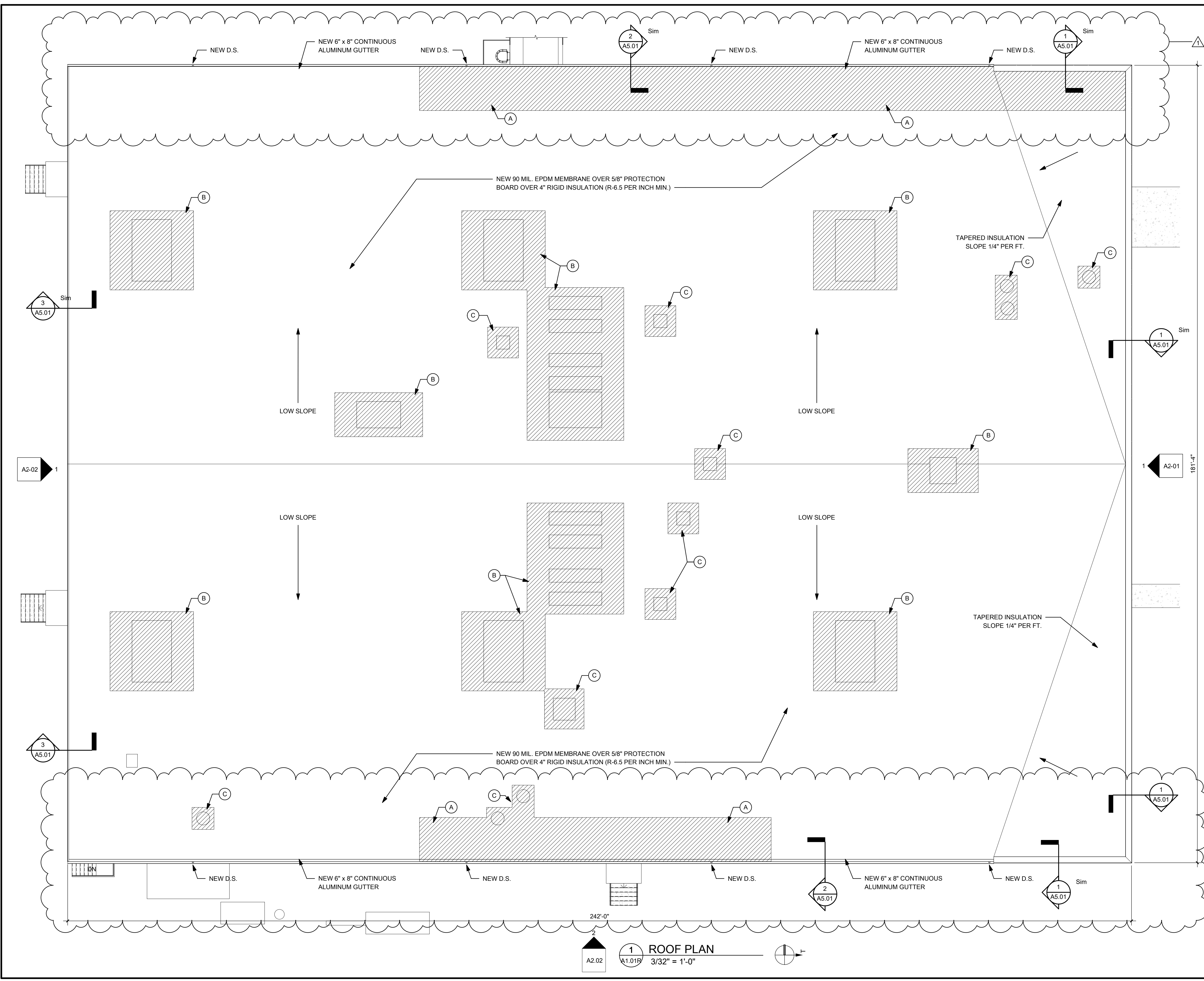
PROJECT No. _____
Project Number

ROOF PLAN

SHEET No. _____

A1.01R

CONSTRUCTION NOTES	
NOTE #	DESCRIPTION
A	INSTALL NEW 20 GA. METAL ROOF DECK 10FT FROM ROOF EDGE. SPOT WELD TO EXISTING ROOF JOISTS.
B	INSTALL NEW 20 GA METAL ROOF DECK AT LOCATIONS OF REMOVED ROOF PENETRATION. REMOVE STEEL ANGLES UNDER DECKING WHICH FRAMED THE REMOVED CURB. EXTEND NEW ROOF DECK FIVE FEET FROM OPENING TO NEXT ROOF JOIST IN BOTH DIRECTIONS.
C	INSTALL NEW 20 GA METAL ROOF DECK AT LOCATIONS OF REMOVED ROOF PENETRATION. REMOVE STEEL ANGLES UNDER DECKING WHICH FRAMED THE REMOVED CURB.



1 ROOF PLAN
A1.01R
3/32" = 1'-0"

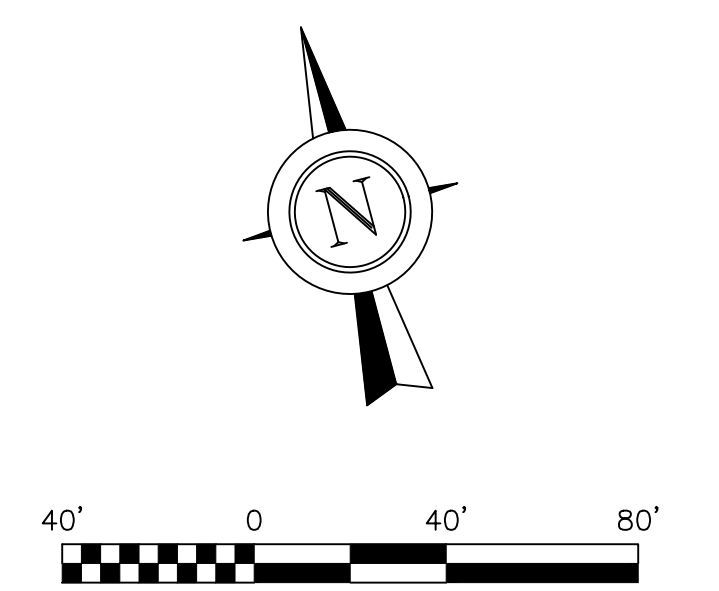
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LAYOUT TAB: Pad Grading Plan
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PLAN LEGEND

	EXISTING CONTOURS
	EXISTING TREELINE
	EXISTING PROPERTY LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING SANITARY LINE
	EXISTING WATER LINE
	EXISTING FENCE LINE
	EXISTING STRUCTURE
	EXISTING EDGE OF PAVEMENT
	EXISTING UN-PAVED ROAD EDGE
	EXISTING CULVERT
	EXISTING DITCH
	EXISTING CONCRETE GUTTER
	EXISTING TRAIL
	EXISTING GUY WIRE
	EXISTING UTILITY POLE
	EXISTING GATE
	EXISTING SIGN
	EXISTING MISC. FEATURE
	EXISTING BUSH
	EXISTING LIGHT POLE
	EXISTING POST
	EXISTING SANITARY MANHOLE
	PROPOSED CONTOURS
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED PAD
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED DITCH
	PROPOSED SANITARY MANHOLE
	PROPOSED PAVEMENT
	PROPOSED LIMIT OF DISTURBANCE
	NPDES PUBLIC NOTICE SIGN AND RAIN GAUGE



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 FAX (304) 624-7831

PHASE No.
CONTRACT No.
PROJECT No.
1-01-030-3454

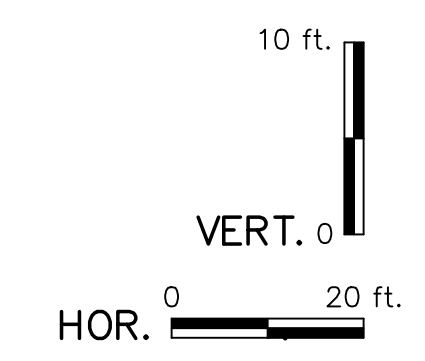
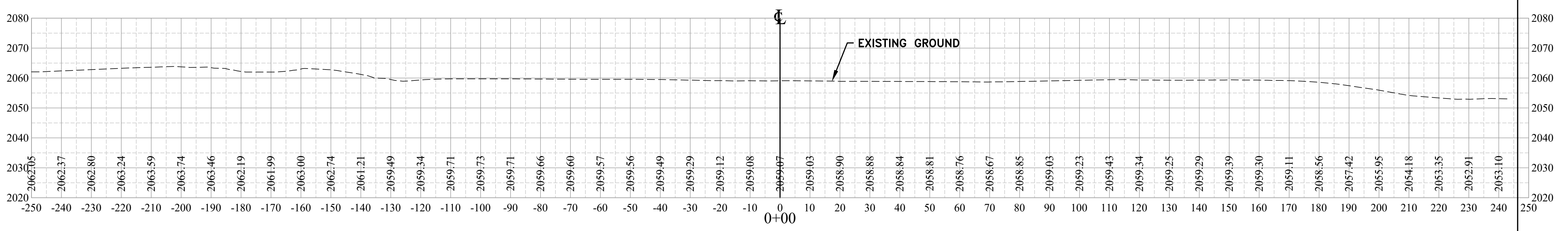
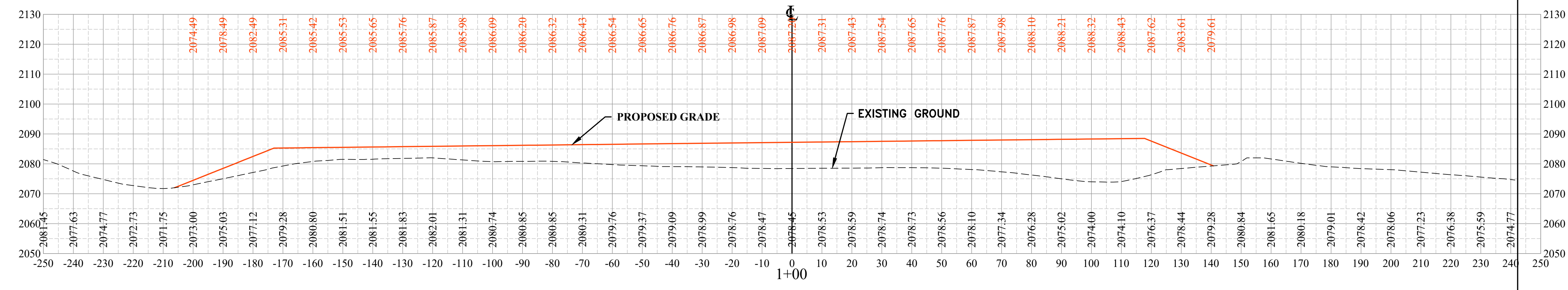
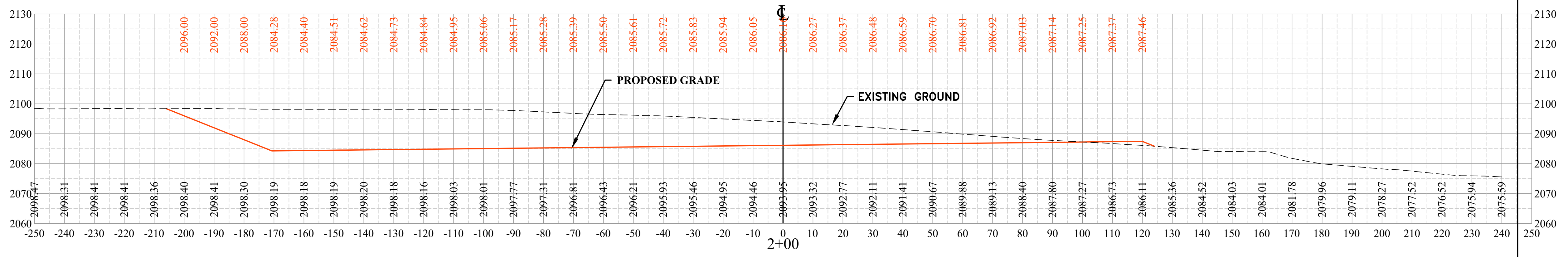
GRACE CHAPEL
 SITE DEVELOPMENT
 PRESTON COUNTY, WEST VIRGINIA
 PAD CROSS SECTION PLAN

SHEET No.
C3.03

1

PLAN LEGEND

--- EXISTING GROUND ELEVATION
 --- PROPOSED GROUND ELEVATION



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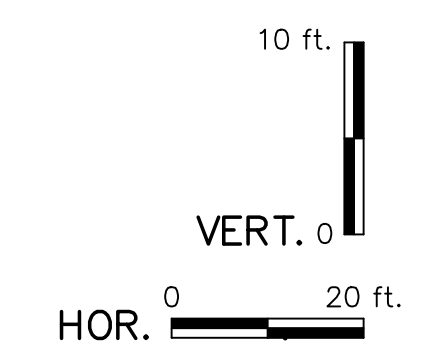
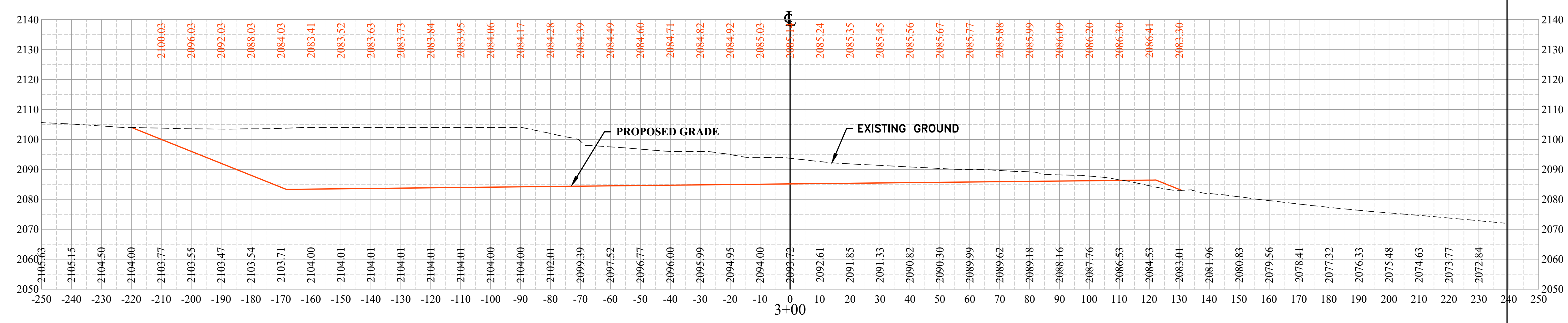
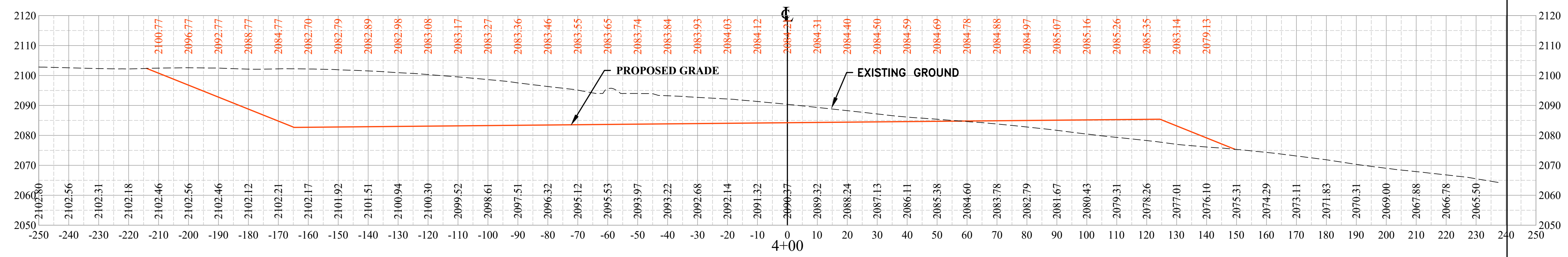
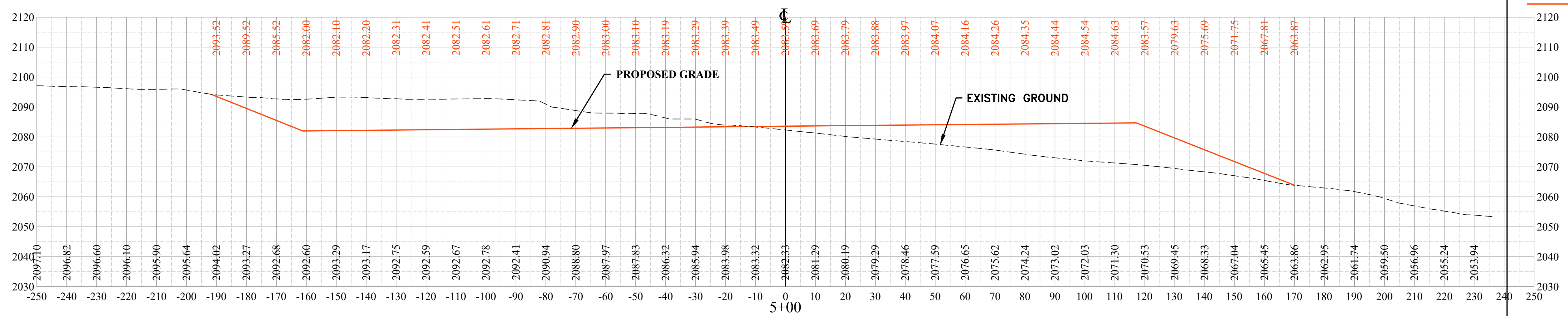
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 SITE DEVELOPMENT
 PRESTON COUNTY, WEST VIRGINIA**
PAD CROSS SECTION SHEET

SHEET No.
C3.04

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PLAN LEGEND

--- EXISTING GROUND ELEVATION
 --- PROPOSED GROUND ELEVATION



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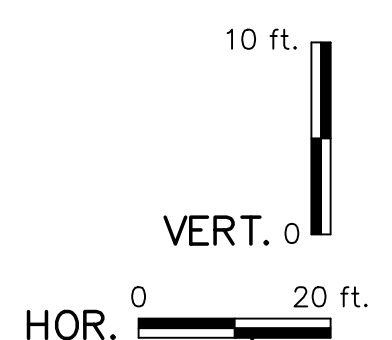
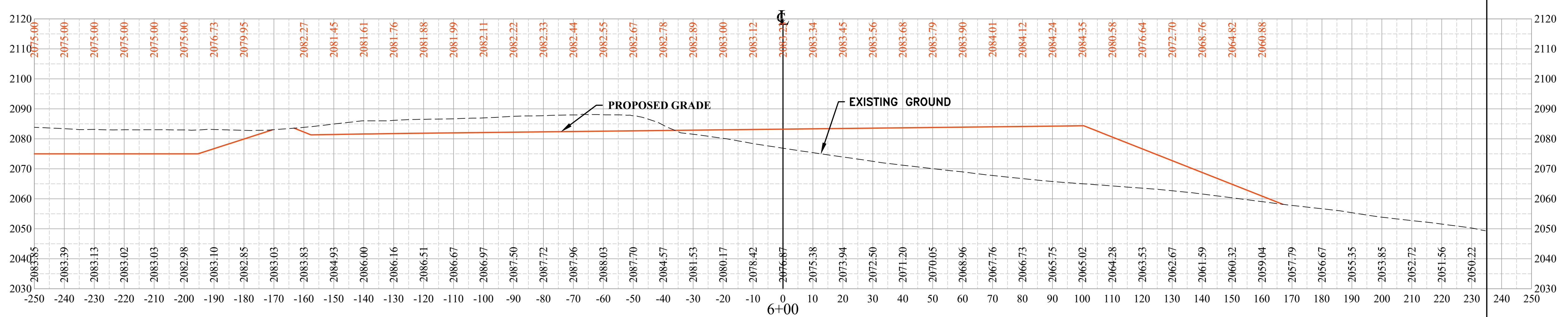
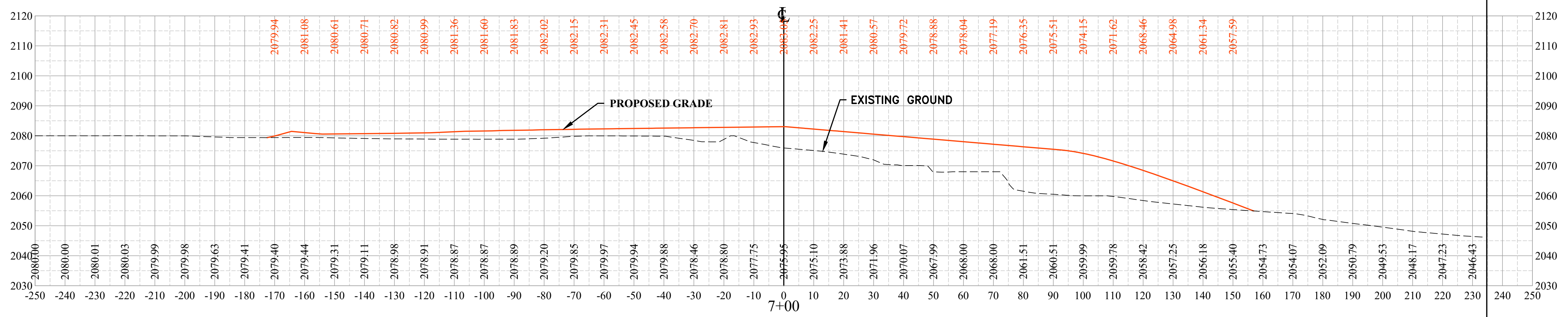
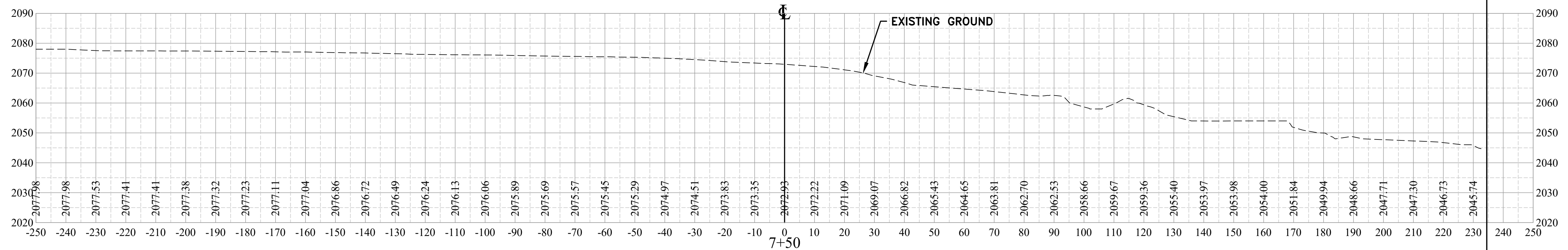
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 PRESTON COUNTY, WEST VIRGINIA**
PAD CROSS SECTION SHEET

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C3.05

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PLAN LEGEND
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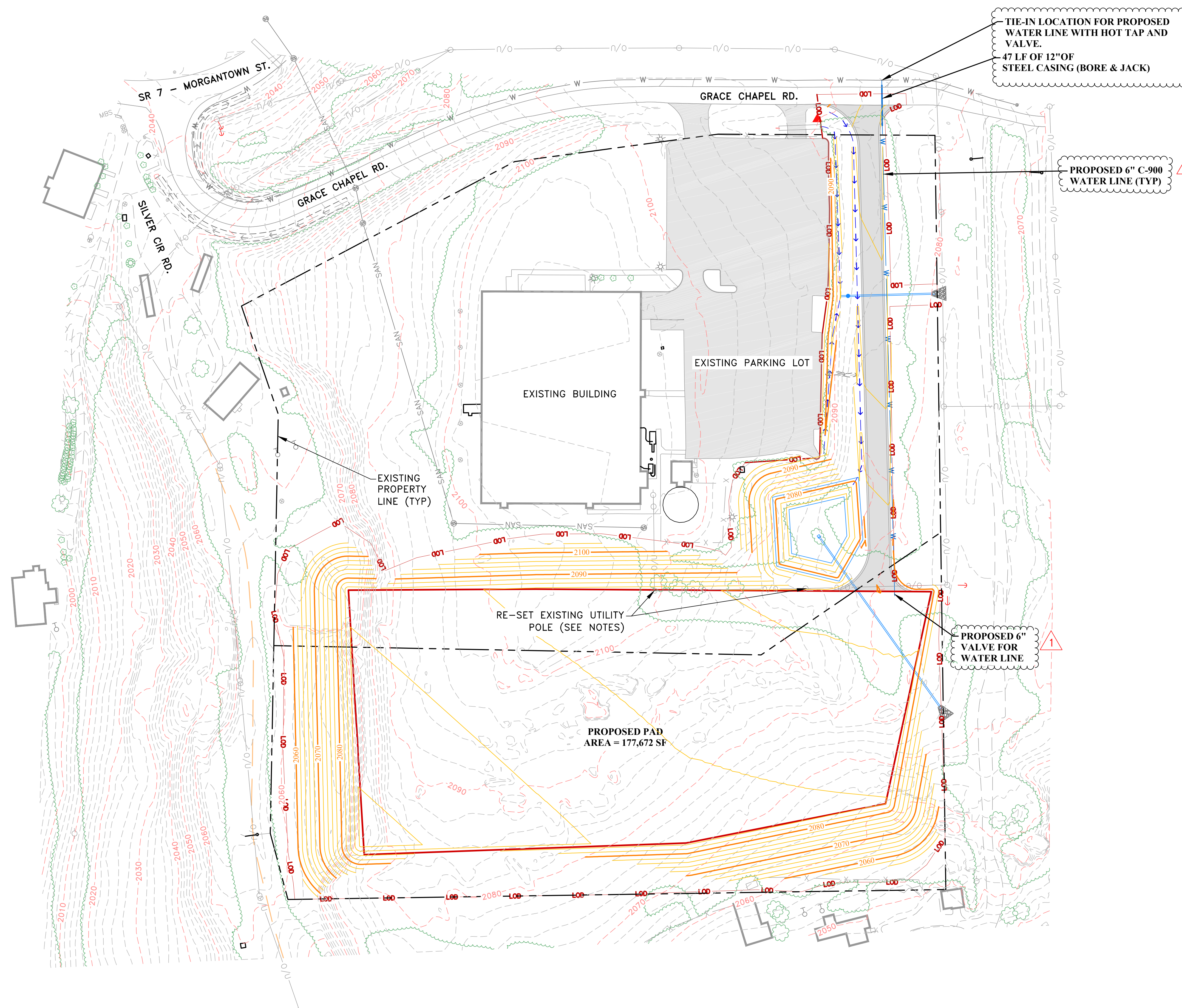
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 PRESTON COUNTY, WEST VIRGINIA**
PAD CROSS SECTION SHEET

SHEET No.
C3.06

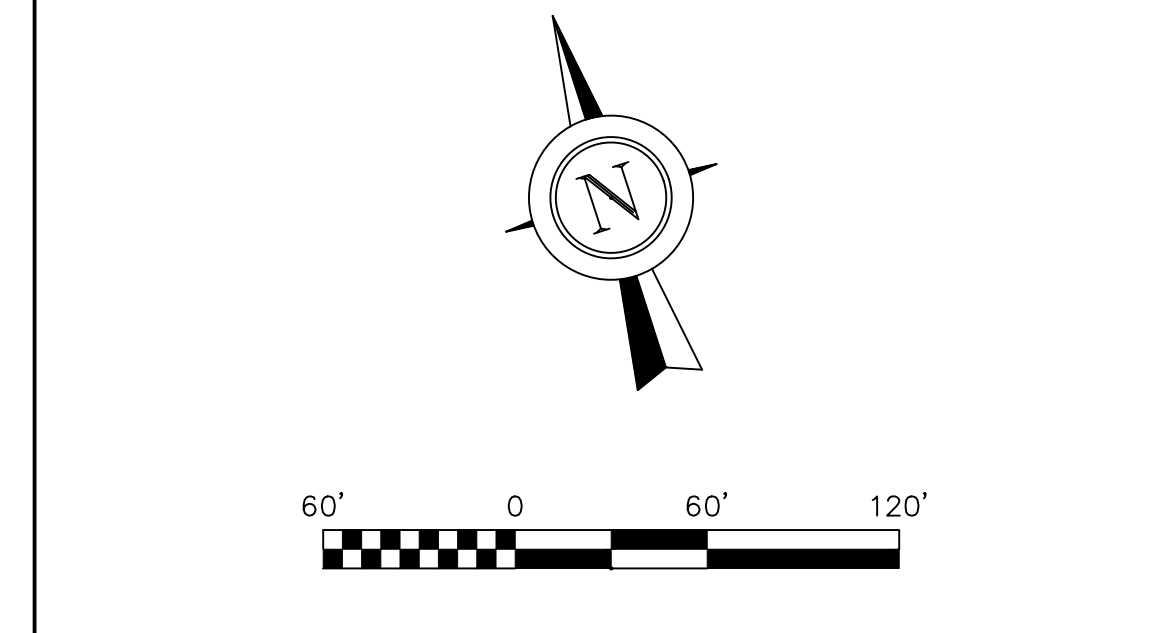
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PLAN LEGEND

	EXISTING CONTOURS
	EXISTING TREELINE
	EXISTING PROPERTY LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING SANITARY LINE
	EXISTING WATER LINE
	EXISTING FENCE LINE
	EXISTING STRUCTURE
	EXISTING EDGE OF PAVEMENT
	EXISTING UN-PAVED ROAD EDGE
	EXISTING CULVERT
	EXISTING DITCH
	EXISTING CONCRETE GUTTER
	EXISTING TRAIL
	EXISTING GUY WIRE
	EXISTING UTILITY POLE
	EXISTING GATE
	EXISTING SIGN
	EXISTING MISC. FEATURE
	EXISTING BUSH
	EXISTING LIGHT POLE
	EXISTING POST
	EXISTING SANITARY MANHOLE
	PROPOSED CONTOURS
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED PAD
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED DITCH
	PROPOSED SANITARY MANHOLE
	PROPOSED PAVEMENT
	NPDES PUBLIC NOTICE SIGN AND RAIN GAUGE

- ### PLAN NOTES
1. CONTOUR INTERVAL IS 2 FT.
 2. THE POWER COMPANY SHALL HANDLE RE-SETTING EXISTING UTILITY POLES WITHIN THE LOD.



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PHASE No.
CONTRACT No.
PROJECT No.
1-01-030-3454

**GRACE CHAPEL
 SITE DEVELOPMENT
 PRESTON COUNTY, WEST VIRGINIA**

OVERALL UTILITY PLAN

SHEET No.
C5.01